

NOTICE: Agenda posted in the lobby and on the front door of Bethany City Hall, 6700 NW 36th St., Bethany, OK 73008 on Fri., June 26, 2026, on or before 4:30 p.m.

The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meetings are encouraged to make the necessary accommodations. The city may waive the 48-hour rule if signing is not the necessary accommodation.

**THE PLANNING AND ZONING COMMISSION MEETING WILL BE HELD IN THE CITY COUNCIL CHAMBER AT BETHANY CITY HALL - 6700 NW 36TH ST., BETHANY, OK 73008**

**AGENDA**  
**CITY OF BETHANY**  
**PLANNING AND ZONING COMMISSION**  
**July 2, 2026**  
**6:30 P.M.**

**CALL TO ORDER**

**INVOCATION**

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES OF June 18, 2026**

**EXPLANATION OF PROCEDURE TO AUDIENCE PLANNING AND ZONING COMMISSION BUSINESS**

**ITEM 1: PC 26-17**

PUD Review of PC 21-16

**Legal Description:** UNPLTD PT SE4 SEC 20 N12N 4W BEG 989.12FT S OF NE/C W/2 SE4 TH S850.77FT W165FT S95FT W492.39FT N334.26FT E136.21FT N610.91FT E527.38FT TO BEG CONT 12.07ACRS MORE OR LESS

**(ITEM TO BE HEARD BY CITY COUNCIL On July 21, 2026.)**

**ITEM 2: PC 26-15**

Discussion and possible action on PUD moratorium.

**ITEM 3: PC 26-10**

Consider a request by Stonetown Capital, Applicant for house moving permits for the purpose of moving three manufactured homes from the Texas State line to the 5200 Blk. N. Peniel Ave. (Lots 14, 29, 35 and a blanket permit).

**Legal Description:** Unpltd. Pt. Sec 9, 12N, 4W, NW4, SW4, SE4.

NEW BUSINESS

ADJOURNMENT UNTIL July 16. 2026

**MINUTES**  
**CITY OF BETHANY**  
**PLANNING AND ZONING COMMISSION**  
**JUNE 18, 2026**

MEMBERS PRESENT: Justin Peck, Chair  
Sam Thurman  
Robert Helton  
Steve Marx  
Ron Crouch  
Arvel Williams

MEMBERS ABSENT: James Clemmer, Vice-Chair  
Jennifer Edmonson

STAFF PRESENT: Ray Jones, City Attorney  
Brett Crecelius, Comm. Dev. Director  
Raquelynne Diaz, Comm. Dev. Associate  
Linda Hlinicky, Adm. Assistant

NOTICE: Agenda posted in the lobby and on the front door of Bethany City Hall, 6700 W 36<sup>th</sup> St., Bethany, OK 73008 on Fri., June 12, 2026 on or before 4:30 p.m.

Justin Peck, Chair called the meeting to order and gave the invocation. Motion was made by Robert Helton, seconded by Arvel Williams to approve the June 4, 2026 Planning and Zoning Commission minutes as emailed. The votes are as follows: AYE- Justin Peck, Sam Thurman, Robert Helton, Steve Marx, Ron Crouch, Arvel Williams. NAY- None. ABSTAIN- None. The motion carried unanimously 6-0-0.

**ITEM 1:**     **PC 26-15**  
Discussion and possible action on PUD moratorium.

**ACTION:**     Brett Crecelius, Comm. Dev. Director presented the staff report for possible action on the PUD moratorium that was enacted by Council for 180 days as we reevaluate our PUD ordinance. Tonight will be the first of many discussions as we begin this topic. Staff reviewed various PUD ordinances from some surrounding cities and a few from out of State. We reevaluated our ordinance and incorporated some components from other cities into our ordinance draft that is in the packet tonight. We are here to review it with you as a Commission and hear your recommendations and take them forward as we reevaluate this PUD. Brett Crecelius, Comm. Dev. Director mentioned since we are built out, we incorporated a simplified plan unit development (SPUD) as well as a Planned

Unit Development (PUD) in the attached ordinance draft. The simplified plan unit development (SPUD) is for smaller locations ( example: 3 ac lot).

Commissioner Helton asked what is the point of having a simplified plan unit development (SPUD)?

Brett Crecelius, Comm. Dev. Director explained the SPUD would help simplify the smaller developments. For example, if there is a two acre site and somebody wants to put some units on lot, it would not require as many public extension of utilities and does not require any platting.

Commissioner Marx stated we are trying to be more flexible. A lot of cities use the SPUD, and it is a good idea.

Commissioner Williams stated PUD's originally were intended for large developments. City of Bethany did not put restrictions on sizes originally. The PUD has become for smaller municipalities something it was not intended to be. Some of the PUD's that have come before us, they are generally to sidestep something so developer can get two extra lots in their development.

Ray Jones, City Attorney suggested maybe we should be examining some of the zoning build lines in our discussions.

Commissioner Marx asked when a PUD expires, are we at two or three years.

Brett Crecelius, Comm. Dev. Director stated our current ordinance is three years after the date the PUD has been approved. The new ordinance will change it back to two years for substantial construction.

Commissioner Marx asked about extensions for substantial work on site.

Brett Crecelius, Comm. Dev. Director stated developer can get extensions in the new proposed ordinance draft.

Ray Jones, City Attorney stated from a legal standpoint, he would prefer the two year period. If you cannot get construction started in that time frame you are having problems.

Commissioner Helton asked if tree removal is considered substantial construction.

Brett Crecelius, Comm. Dev. Director stated tree removal does not count as substantial construction.

Ray Jones, City Attorney explained from a legal standpoint tree removal is not construction at all, it is just grading the land. Construction requires foundation of building, walls, etc. We may want to look at putting specific perimeters such as twenty-five percent of the project has been completed or thirty-five percent of the project has been completed. There has to be a plan that is approved, and there are different ways you can approach it.

Justin Peck, Chair asked about the point system.

Brett Crecelius, Comm. Dev. Director explained the point system in the ordinance draft was based off of the Minnesota-Lakewood-Pittsburg PUD's. You would need to do 'X' amount of things on this list that add up to twenty points. On the point sheet in staff report, you seen the points on the right side and the community benefit on the left. So developer would have to do 'X' amount of things to reach the twenty points added up and that would be part of their PUD application. Or these points can go away.

Commissioner Helton did not feel we need the point system to encourage the missing middle housing developments. He stated missing middle housing developments is all we have had for PUD's. We should be using PUD's for unique looking structures, not standard things like duplexes and tri-plexes. He questioned the points given for different improvements in the list.

Brett Crecelius, Comm. Dev. Director explained the point system is there to ensure the community benefit, and so we can see what community benefit is coming from that development.

Ray Jones, City Attorney suggested we look at acreages for the PUD's and SPUD's.

Brett Crecelius, Comm. Dev. Director stated that could be an option for the SPUD and PUD. If we do not like the SPUD, we could have a minimum PUD for example. That is another option as well. For example, development has to be a minimum of two acres to be eligible for a PUD, and get rid of the SPUD.

Commissioner Marx mentioned OKC has had SPUD's for a long time. You can make things a little more flexible for maybe mixed-uses.

Commissioner Helton asked why do we need to be more flexible for something that does not produce sales tax.

It was the general consensus of the Planning Commissioner's to have more time to review the documentation in the staff report and come back with maybe more questions.

Commissioner Marx thanked Brett Crecelius and Raquelynne Diaz for putting the rough draft of the PUD Ordinance together after reviewing information from other cities. The rough draft is pretty close to what would be suitable for Bethany.

Brett Crecelius, Comm. Dev. Director reflected on some of the items mentioned and the point system needing more review:

- More description in the native drought resistant landscaping
- Possibly removing the SPUD
- Maybe looking at the point system and scaling up the points
- Public parks dedication – ball fields
- Definition for substantial construction
- Possibility of mixed use requirements
- Less noise and flammable
- Tree preservation

Ray Jones, City Attorney suggested we bring our landscaping ordinance to the next meeting to see how it would work with the proposed PUD ordinance draft.

-----

#### NEW BUSINESS

Brett Crecelius, Comm. Dev. Director spoke about a grant Bethany was awarded from OU for a housing study which will take into account and evaluate our current housing, our past housing, our future needs, have we got enough units, and what type of units we have. It will be a very comprehensive housing study of Bethany to influence our decisions moving forward.

Motion was made by Robert Helton, seconded by Arvel Williams to adjourn. The votes are as follows: AYE- Justin Peck, Sam Thurman, Robert Helton, Steve Marx, Ron Crouch, Arvel Williams. NAY- None. ABSTAIN- None. The motion carried unanimously 6 – 0.



**City of Bethany**  
**Planning & Zoning Staff Report**

**July 2, 2026**

CASE NO: PC 26-17

**Request:** PUD Review of PC 21-16

**Background:** In early January 2026, a meeting was held at City Hall, located at 6700 NW 36<sup>th</sup>, between staff and project developers to discuss the Harmony Groves development. During the meeting, the project status was reviewed, along with the next steps necessary for consideration of the preliminary and final plat. At that time, an administrative extension was granted for the Harmony Groves development. The extension was granted because in early 2025, during departmental staffing transitions, the applicant submitted correspondence regarding the development; however, the item was not placed on an agenda due to the staff transition period. The Community Development Director reviewed the development plan to determine whether the plan should be voided or remain in effect. Following that review, the development was determined to remain viable.

The project was reviewed over the following months but the item was not placed on a meeting agenda. The development was unable to receive approval from the City Engineer, Fire Department, and Community Development Director after several submissions due to repeated noncompliance with review comments. Another meeting was held on March 24, 2026, to discuss the development and the requirements necessary to move forward with a recommendation for placement on the Planning and Zoning agenda. During that meeting, staff outlined the comments and corrections that needed to be addressed before the item could be placed on an agenda for preliminary and final plat approval.

Another set of submittals was received; however, the required revisions had still not been adequately addressed. On April 16, 2026, the developer and engineer were advised that all review comments must be addressed with the next submittal. This included providing clean, approvable preliminary and final plats; complete grading, drainage, paving, water, and landscape plans; retaining wall and fence cross-sections; and all required supporting documentation. It was also clearly communicated that staff would not review incomplete submittals or plans that were not submitted in the required format.

Consequently, on May 12, 2026, the developer was informed that the repeated meetings and requests had still not resulted in the necessary updates to make the project viable. The Community Development Director advised the developer that the PUD would be forwarded to the Planning and Zoning Commission for review in accordance with Ordinance § 158.024(B)(5)(19). Notices were subsequently mailed to the surrounding property owners regarding the upcoming review.

**Analysis:** The property was considered for rezoning by the Planning and Zoning Commission on March 17, 2022, at which time the Commission recommended approval of the rezoning request and forwarded it to the City Council for consideration. On April 5, 2022, the City Council approved Ordinance No. 2022- concerning the Planned Unit Development (PUD).

In the written design statement that was submitted for the PUD. It states the description of the development and justification as senior housing consisting of 17 multiplexes of 78 units in 8 phases. And that the development fills a need for senior housing. With a possible start date of 05/25/2022 and a completion of the first phase of on 05/23/2023. Special development regulations setback front 40', setback rear 20', Setback side 27', and setback side 20'.

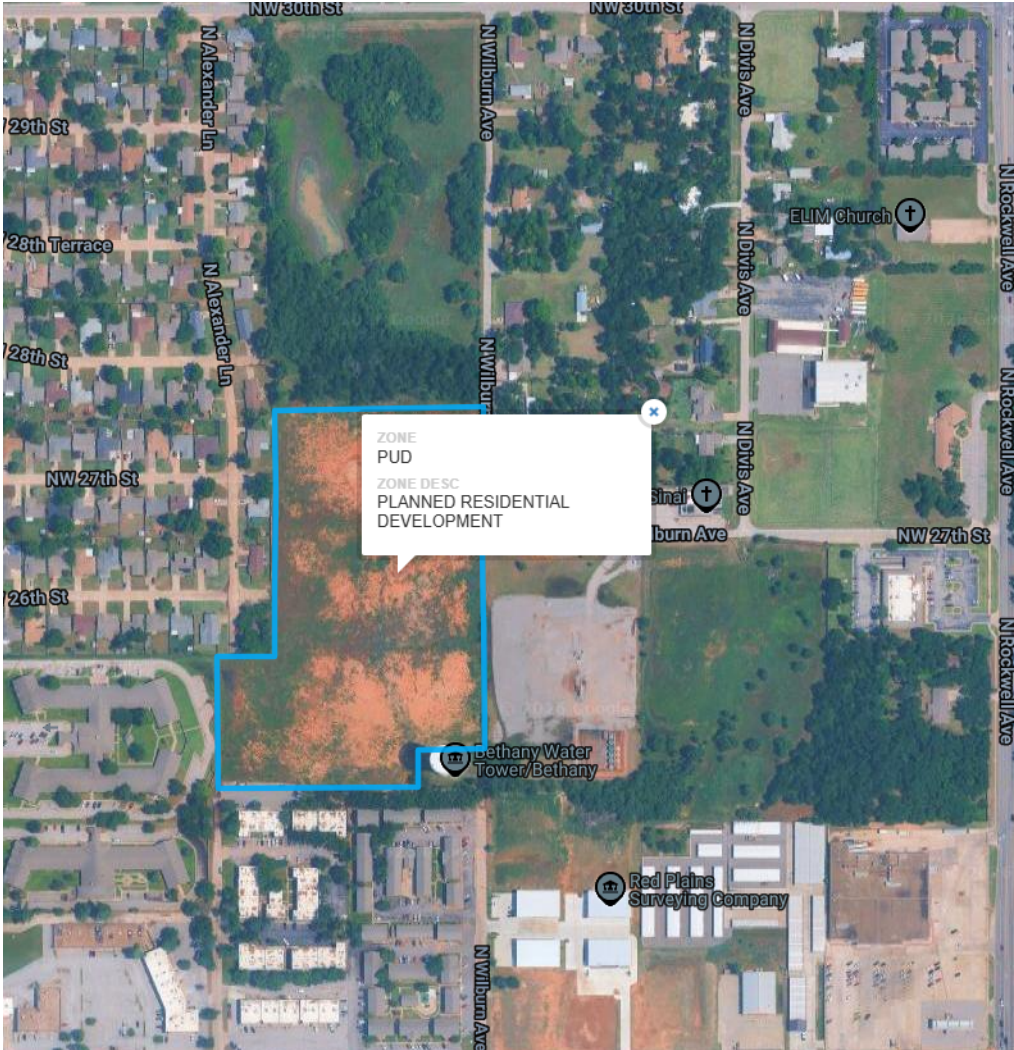
Ordinance § 158.024(B)(5)(18) states that “if substantial construction has not commenced within three years after the date of City Council approval for a PUD development, the Community Development Director shall review the development plan to determine whether the development plan should be voided or remain in effect.” After working with the developer through the process, the Community Development Director has determined that substantial construction has not been completed, and subsequent phases of construction are not viable. The Director is requesting a review of the existing zoning classification and whether or not an extension should be granted or if the property should be rezoned to the district that immediately preceded the approval of the planned district.

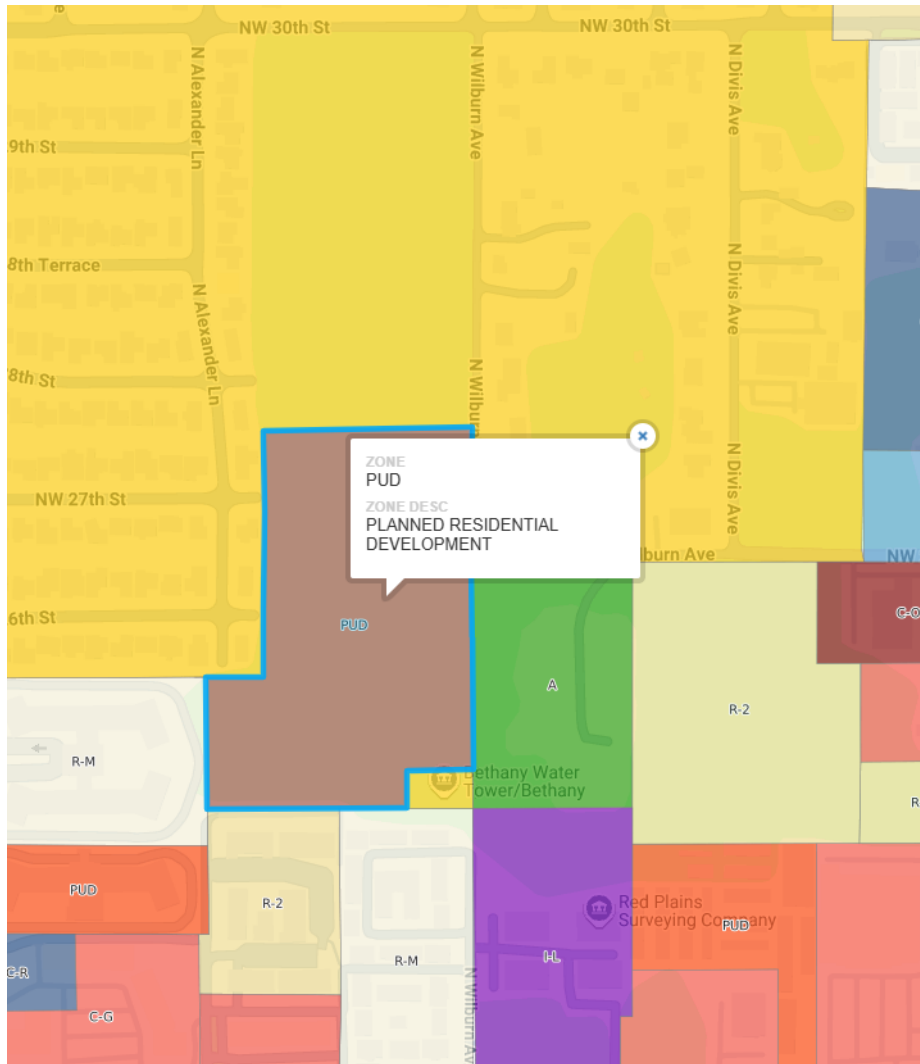
Included in the meeting packet is the original application, design statement, and supporting application materials submitted at that time, as well as the latest submittal plans, and most recent comment letter identifying the items that needed to be addressed before the preliminary and final plats could be placed on an agenda.

**Required Action:** Review, discussion, and possible action on the existing zoning classification regarding PC 21-16

**Attachments:**

- Aerial and Zoning
- Original PUD
- Civil Set
- Other related material





**Agenda: 4/5/22**

**Item:**

**BETHANY CITY COUNCIL**

**From:** Amanda McCellon, Comm. Dev. Director  
**Date:** March 22, 2022  
**Subject:** Consider a request by Golam Sarker, Applicant and Property Owner, to rezone a 12-acre tract of land located at the South half of NW 27<sup>th</sup> St. and Wilburn Ave. from R-1, Single Family to PUD, Planned Unit Development.

**BACKGROUND**

Attached are the minutes and staff report from the Planning and Zoning Commission meeting of March 17, 2022. Motion was made by Justin Peck, seconded by James Clemmer to recommend approving the rezoning request by Golam Sarker, Applicant and Property Owner, to rezone a 12-acre tract of land located at the South half of NW 27<sup>th</sup> St. and Wilburn Ave. from R-1, Single Family to PUD Planned Unit Development. The votes re as follows: AYE- Charles Snyder, Justin Peck, Kent Lynn, James Clemmer. NAY- Robert Helton. ABSTAIN- None. The motion carried 4-1-0.

**RECOMMENDATION**

Recommend approving the rezoning request by Golam Sarker, Applicant and Property Owner, to rezone a 12-acre tract of land located at the South half of NW 27<sup>th</sup> St. and Wilburn Ave. from R-1, Single Family to PUD, Planned Unit Development.

**ADDITIONAL COMMENTS**



**MINUTES**  
**CITY OF BETHANY**  
**PLANNING AND ZONING COMMISSOIN**  
**MARCH 17, 2022**

MEMBERS PRESENT: Charles Snyder, Chair  
Justin Peck, Vice-Chair  
Robert Helton  
James Clemmer  
Kent Lynn

MEMBERS ABSENT: Ron Crouch  
Steve Marx

STAFF PRESENT: Amanda McCellon, Comm. Dev. Director  
Brendan Summerville, Comm. Dev. Associate  
Linda Hlinicky, Adm. Assistant

NOTICE: Agenda posted in the lobby and on the front door of Bethany City Hall, 6700 NW 36<sup>th</sup> St., Bethany, OK 73008 on Thursday, March 10, 2022 at 11:00 a.m.

Charles Snyder, Chair called the meeting to order and gave the invocation. Motion was made by James Clemmer, seconded by Justin Peck to approve the February 17, 2022 Planning and Zoning Commission minutes as mailed. The votes are as follows: AYE- Robert Helton, Kent Lynn, Justin Peck, James Clemmer. NAY- None. ABSTAIN- Charles Snyder. The motion carried 4-0-1.

**ITEM 1:**     **PC 21-16**  
Consider a request by Golam Sarker, Applicant and Property Owner, to rezone a 12-acre tract of land located at the South half of NW 27<sup>th</sup> St. and Wilburn Ave.

**LEGAL DESCRIPTION:**

A tract of land located in the W ½ of the SE ¼ of Section 20, T12N, R4W, I.M. in the City of Bethany, Oklahoma County, Oklahoma and being more particularly described as follows: COMMENCING at the NE Corner of the W ½ of Said SE ¼; THENCE S00°6'31"E a distance of 994.12 ft TO THE POINT OF BEGINNING; THENCE S89°28'47"W a distance of 165.00 ft; THENCE S00°06'31"W distance of 95.00 ft; S89°28'47"W a distance of 492.39 ft; N00°19'35"W a distance of 334.26 ft; N89°25'47"E a distance of 136.21 ft; N00°34'13" W a distance of 610.91 ft; N89°25'47" E a distance of 527.38 ft to THE POINT OF BEGINNING.

**(Item to be heard by City Council on April 5, 2022)**

**ACTION:** Brent Summerville, Comm. Dev. Associate presented the staff report to consider rezoning a 12-acre tract of land located at the South half of NW 27<sup>th</sup> St. and Wilburn Ave. from R-1, Single Family to PUD, Planned Unit Development. He reviewed the lot characteristics for the lot at NW 27<sup>th</sup> and N. Wilburn and the zoning of the surrounding properties. Currently there is a 12-inch water line along N. Wilburn and a sewer line on N. Alexander. The developer plans to build

seventeen single story multiplexes (consisting of seventy-eight dwelling units) for senior housing with one car garages. Storm water will be managed by a 100' x 200' detention pond in SW corner of lot.

Commissioner Lynn asked about the sloping of the land.

Mr. Wynne, Engineer for applicant stated we had a surveyor look at the property, and it looks like the water all runs to the south. If that happens to be wrong, we will move the detention pond to the north in our final design.

Rhonda Brown, resident of 2901 N. Alexander asked about the entrance(s) for development; and expressed concerns about the flooding in the area.

Mr. Wynne, Engineer for Applicant said there will be only one entrance of NW 27<sup>th</sup> and N. Wilburn.

Brian Ward, resident of 1716 N. Oakhill spoke about the current flooding problems in the area. He felt the flooding problem in the area should be taken care of before any development. He wants all exterior walls on this development to be brick.

Oscar Vasquez, resident of 2808 N. Alexander Lane would like flooding to be taken care of before any development.

Jennifer Marquez, resident of 7400 NW 28<sup>th</sup> St. spoke about the flooding in the area and the safety of her family. She asked if these units will be rental or ownership properties?

Jamie Hanselman, Realtor said properties will be rented.

Jennifer Marquez, resident of 7400 NW 28<sup>th</sup> St. asked the applicant what they will do for the safety of surrounding neighbor's families and children?

Jamie Hanselman, Realtor said there is a lack of senior citizen housing in Bethany; and this project will be strictly for retired couples (not their family members).

Commissioner Lynn asked for definition of senior.

Mr. Sarker, Applicant stated a senior are couples who are 50+ years old. Seniors will live here.

Mr. Vazquez, resident of 2808 N. Alexander Lane concerned with security.

Mr. Bass with Carlson Adventures said he had a PUD approved in this area (12-acres to the north) and spoke in favor of the proposed rezoning.

Commissioner Snyder asked if applicant would keep current trees on the property?

Mr. Wynne, Engineer for applicant said we will remove all trees and replace with trees of the applicant's choice in the greenbelt areas. We think it is a good thing to remove all existing trees for good quality construction. If you get those trees and the tree root system out so we can have some

firm backfill to work with and build our foundations for the buildings. This would eliminate possible sink holes from tree roots/stumps.

Motion was made by Justin Peck, seconded by James Clemmer to recommend approving the rezoning request by Golam Sarker, Applicant and Property Owner, to rezone a 12-acre tract of land located at the South half of NW 27<sup>th</sup> St. and Wilburn Ave. from R-1, Single Family to PUD, Planned Unit Development. The votes are as follows: AYE- Charles Snyder, Justin Peck, Kent Lynn, James Clemmer. NAY-Robert Helton. ABSTAIN- None. The motion carried 4-1-0.

-----

### NEW BUSINESS

Brent Summerville, Comm. Dev. Associate mentioned we have two items scheduled for the next Planning and Zoning Commission, which are an accessory building and a rezoning case.

-----

Motion was made by Justin Peck, seconded by Robert Helton to adjourn. The motion carried unanimously 5-0.



**City of Bethany**

**Planning & Zoning Staff Report**

March 4, 2022

17

**CASE NO: PC 21-16**

**Request:** Consider a request by Golam Sarker, Applicant and Property Owner, to rezone a 12.06-acre tract of land located at the South half of NW 27<sup>th</sup> St. and Wilburn Ave.

**Legal Description:**

A tract of land located in the W ½ of the SE ¼ of Section 20, T12N, R4W, I.M. in the City of Bethany, Oklahoma County, Oklahoma and being more particularly described as follows:

COMMENCING at the NE Corner of the W ½ of Said SE ¼; THENCE S00°6'31"E a distance of 994.12 ft. TO THE POINT OF BEGINNING; THENCE S89°28'47"W a distance of 165.00 ft; THENCE S00°06'31"W distance of 95.00 ft; S89°28'47"W a distance of 492.39 ft; N00°19'35"W a distance of 334.26 ft; N89°25'47"E a distance of 136.21 ft; N00°34'13"W a distance of 610.91 ft; N89°25'47"E a distance of 527.38 ft to THE POINT OF BEGINNING.

**Applicant:** Golam Sarker, Property Owner

**Current Zoning:** R-1, Single-Family Residential

**Surrounding Properties:**

Direction	Zoning	Use
North	R-1	Single-Family Residential
South	R-2 & R-M	Two-Family Residential & Residential Multi-Family
East	A & R-1	Agricultural & Single-Family Residential
West	R-1 & R-M	Single-Family Residential & Residential Multi-Family

**Total Lot Characteristics:**

Width (Total)	660 ft.
Depth (Total)	945 ft.
Total Area	12.06 Acres
Current Building Line(s)	Front: 25 ft; Side: 10ft. & 5ft. (Interior), 15ft. (Street), 25ft. (Corner); Rear: 20ft.
Existing Structures	None
Proposed Structures	17 Single-Story Multiplexes for Senior Housing
Water Line(s)	12-inch DIP along the East side of lot (Wilburn)
Sanitary Sewer Line(s)	Existing Line along Western side (N. Alexander)

**Special Development Regulations:**

Direction	R-M (ft)	R-2 (ft)	Proposed PUD (ft)
Front	25	25	40
Rear	25	20	20
Side(s)	25	10 & 5 (Interior) 15 (Street)	27 & 20

**Background:** The applicant seeks to rezone the property to a Planned Unit Development from Single-Family Residential. Golam Sarker, Applicant & Property Owner, seeks this rezone to construct a 17-building senior living facility with a total of 78 dwelling units. The current site is a wooded and undeveloped greenfield.

**Analysis:** The request to rezone the property in question is based on the need to develop multifamily dwelling units outside the setback and structure guidelines for multi-family dwellings. The design statement put forth by the applicant calls for setbacks that differ from R-M & R-2 zoning categories. As a result, a planned unit development is the most appropriate zoning category for this project.

The proposed development will manage ingress and egress via 26<sup>th</sup> St. and 27<sup>th</sup> St. Stormwater will be managed by a 100' by 200' detention pond and surrounding green space in the Southwest Corner of the development.

This hearing is for a rezoning of the property. Community Development staff and the city Engineer will analyze and approve all site plans for this project should this zoning change be approved by both the Planning & Zoning Commission & City Council.

**Required Action:** Hold a public hearing and either approve or deny the rezoning of a tract of land located in the W ½ of the SE ¼ of Section 20, T12N, R4W, I.M. from R-1 (Single-Family

Residential) to PUD (Planned Unit Development). Any specific conditions imposed by the Planning & Zoning Commission should be read into any approval motion.

**Attachments:**

- Water & Sewer Line Atlases
- Zoning Map & Aerial Photograph
- County Information; Certified Owners List
- Application Documents: Legal Description, Rendering, Preliminary Site Plan, and Surveyed Map.
- Public Notification

## APPLICATION FOR REZONING

We, the undersigned, being the owners or legal agents for the owners of more than fifty-one percent of the following described property, do hereby make application and petition the City Council to amend the zoning ordinance of the City of Bethany as hereinafter requested.

(PLEASE PRINT OR TYPE)

1. Applicant: Golam Sarker Phone #: (405) 479-7462  
Address: 11501 Marbella Dr. Oklahoma City, OK 73173
2. Record Property Owner(s): Golam Sarker Phone #: (405) 479-7462  
Address: 11501 Marbella Dr. Oklahoma City, OK 73173
3. Request rezoning from: R-1  
To: PUD
4. Street address or location: 12 acres located at South half of NW 27th and Wilburn
5. Legal description (attach if necessary): \_\_\_\_\_  
See Attached "Exhibit B"
6. Area of property (sq. ft.): Approx 12 acres
7. The application shall be accompanied by the following:
  - a. Filing Fee.
  - b. Certified list of names and addresses of all property owners of record within three hundred (300) feet of the exterior boundaries of subject property.
  - c. Application for amendment of Comprehensive Plan (if applicable).
8. In order that your application can be heard at the next Planning Commission meeting, the completed application, accompanying information, and filing fees must be submitted before 12:00 noon the day of the deadline.
9. Signature of Applicant: \_\_\_\_\_  
Signature of Property Owner: Golam Sarker

**EXHIBIT "A"**  
**PLANNED UNIT DEVELOPMENT**  
**Written Design Statement**  
**Graphic Master Plan**

1. Title:
2. Property Owner(s): Golam Sarker  
Home Address: 11501 Marbella Dr Oklahoma City, OK 73173  
Developer(If other than owner):  
Architect: Ron Wynne  
Engineer: Ron Wynne
3. Description of the development and justification of the design:  
Senior housing consisting of multiplexes of 78 units in 8 phases. The development fills a need for senior housing in Bethany.
4. Development Schedule: Possible Start Date: 05/25/2022 and completion of phase 1 is 05/25/2023
5. Property Size: 12 Acres  
Permitted Uses: Senior Housing
6. SPECIAL DEVELOPMENT REGULATIONS  
Setback Front: 40'  
Setback Rear(West): 20'  
Setback Side(North): 27'  
Setback Side(South): 20'
7. Frontage on Streets
  - a. Wilburn 200'  
Additional Right -of-Way: None  
Street Improvements Required: None
8. Current Physical Characteristics of Property: Wooded and undeveloped.

Drainage: Detention Pond

10. Easements Required: None

Utility extensions required: Waterline extended from Wilburn

11. Proposed number of buildings and size of each: 17 buildings

15 of 5,500 sq ft, 1 of 3,300 sq ft, 1 of 2,200

Ratio of building size to lot area:  $88,000 \text{ sq ft} / 522,720 = 16\%$

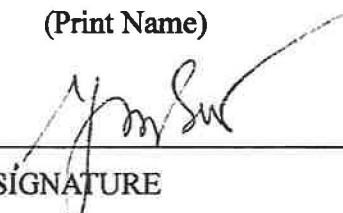
Description of building: One story multiplexes with one car garage.

12. Sequence of development: Site grading and site development including new detention pond.

Retention area and utilities foundations, concrete floors, framing, roofing, brick veneer. Interior electrical wiring, plumbing and HVAC, sheet rock, trim, paint, flooring, fixtures, counter tops, appliances and landscaping.

I, Golam Sarker, Property Owner, do hereby agree to the terms and conditions herein stated..

(Print Name)

  
\_\_\_\_\_  
SIGNATURE

02/15/2022  
\_\_\_\_\_  
DATE

# EXHIBIT "B"

Feb.17, 2022

## LEGAL DESCRIPTION

A Tract of land located in the W ½ of the SE ¼ of Section 20, T12N, R4W, I.M. in the City of Bethany, Oklahoma County, Oklahoma and being more particularly described as follows:

COMMENCING At the NE Corner of the W ½ of Said SE ¼;  
THENCE S00°06'31"E a distance of 994.12 ft. to the POINT OF BEGINNING;  
THENCE S89°28'47"W a distance of 165.00 ft;  
THENCE S00°06'31"W a distance of 95.00 ft;  
THENCE S89°28'47"W a distance of 492.39 ft;  
THENCE N00°19'35"W a distance of 334.26 ft;  
THENCE N89°25'47"E a distance of 136.21 ft;  
THENCE N00°34'13"W a distance of 610.91 ft;  
THENCE N89°25'47"E a distance of 527.38 ft. to the POINT OF BEGINNING.

The above described tract contains 525,263 sq. ft. or 12.06 acres more or less and is subject to Easements, Rights-of Way and Restrictions of Record/

The Basis of Bearings and the Base Line for this Legal Description is the North Line of the SE ¼ of Said Section 20.

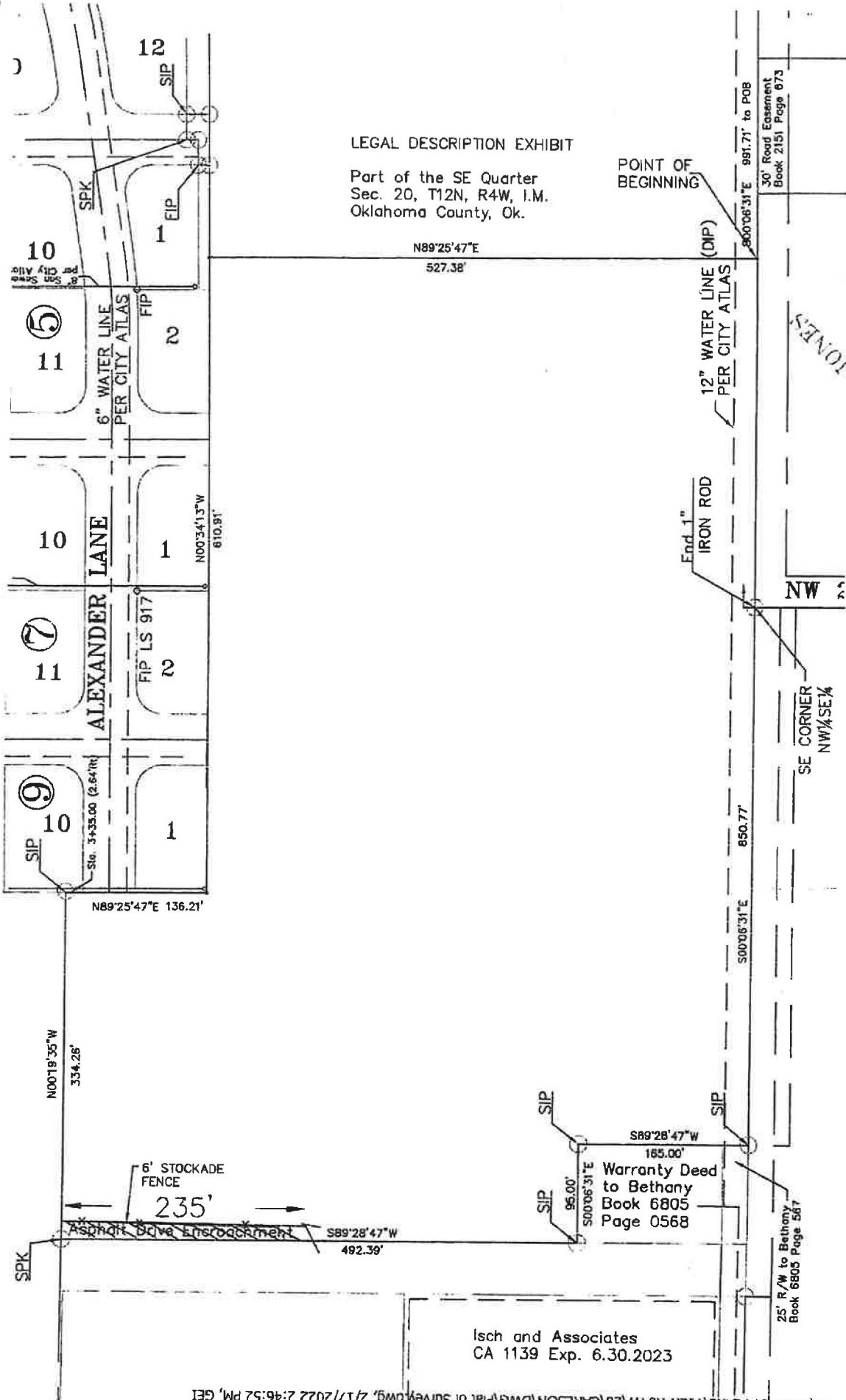


G E Isch  
2.17.2022

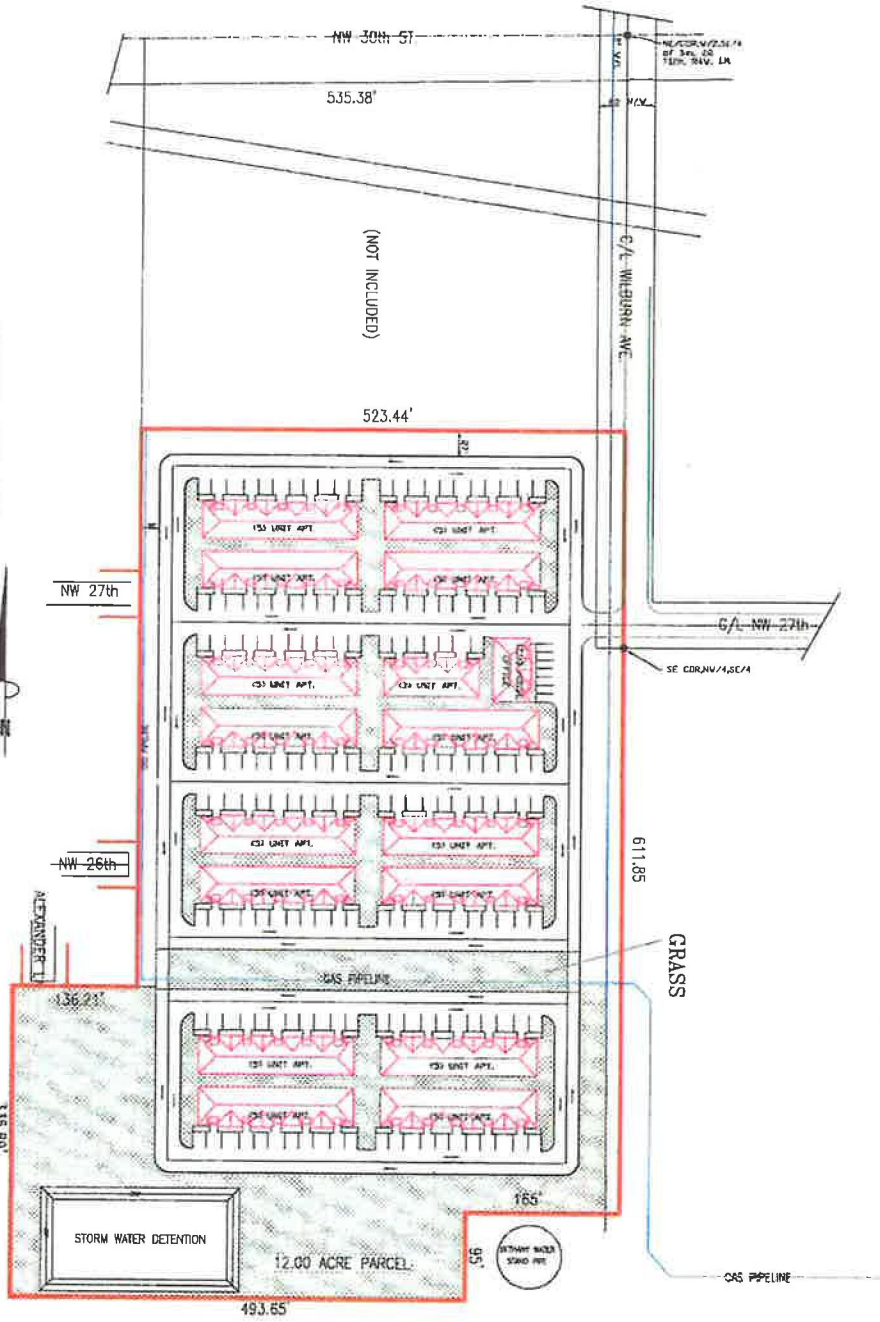
LEGAL DESCRIPTION EXHIBIT

Part of the SE Quarter  
Sec. 20, T12N, R4W, I.M.  
Oklahoma County, Ok.

POINT OF  
BEGINNING



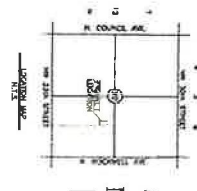
**PRELIMINARY SITE LAYOUT**  
**PROPOSED SENIOR TOWNHOUSE DEVELOPMENT**  
 78 SINGLE FAMILY UNITS  
 NEAR NW 30th & N. WILBURN AVE.  
 BETHANY, OKLAHOMA  
 (12 ACRE PARCEL)



**SITE PLAN**  
 SCALE: 1" = 20'



FOR REVIEW

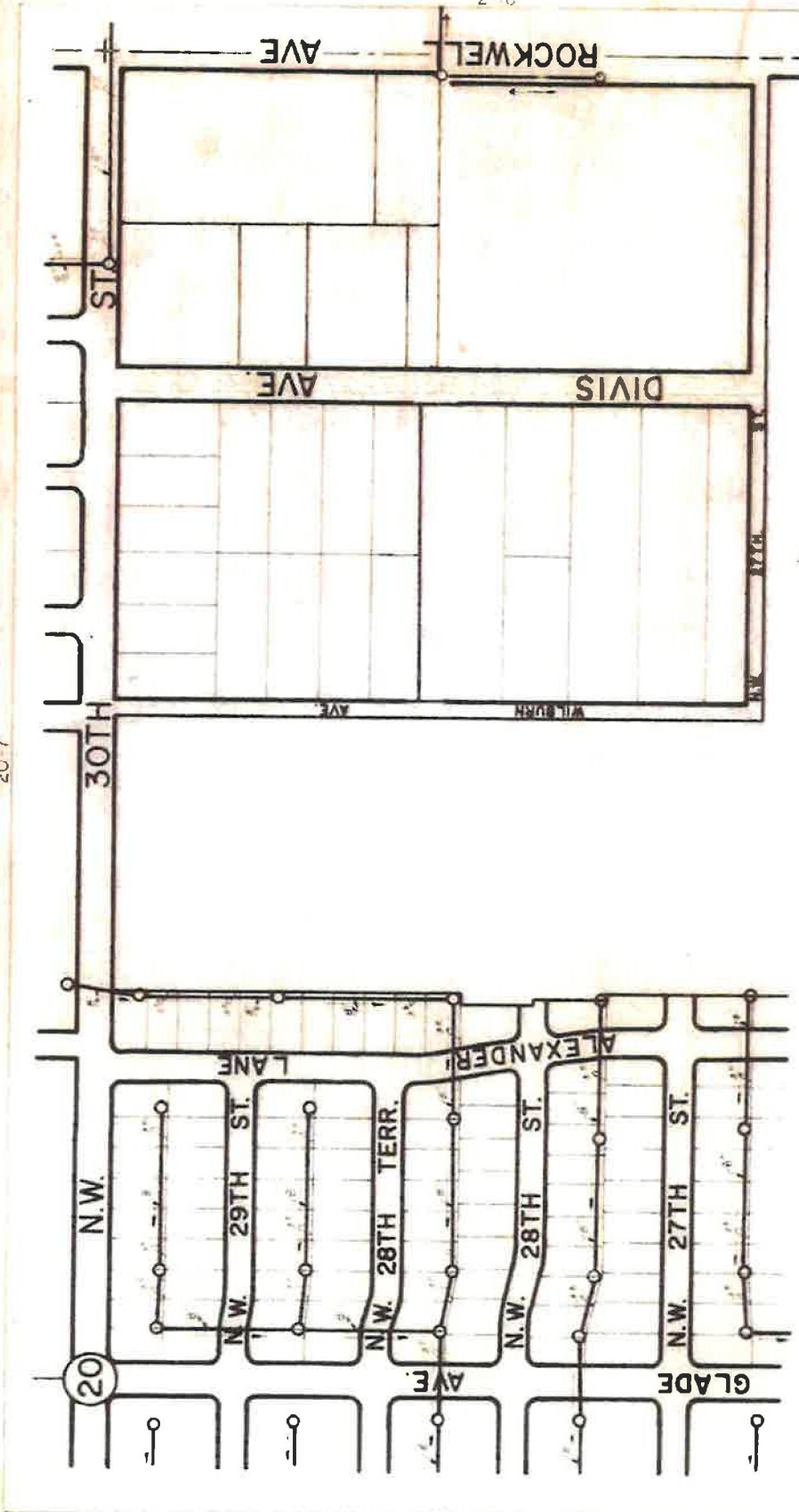


	<b>Wynne Engineering Corp.</b> 1200 N. WILBURN AVE. BETHANY, OKLAHOMA 73110 (405) 919-8000
	SENIOR TOWNHOUSES PUD - SITE PLAN SHEET 1 OF 1



SEWER

20-7



20-3

THIS MAP WAS PREPARED FOR THE OKLAHOMA INDUSTRIAL DEVELOPMENT AND PARK DEPARTMENT, STATE PLANNING AGENCY, AND WAS FINANCED IN PART THROUGH AN URBAN PLANNING GRANT FROM THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, UNDER THE PROVISIONS OF SECTION 701 OF THE HOUSING ACT OF 1954, AS AMENDED.

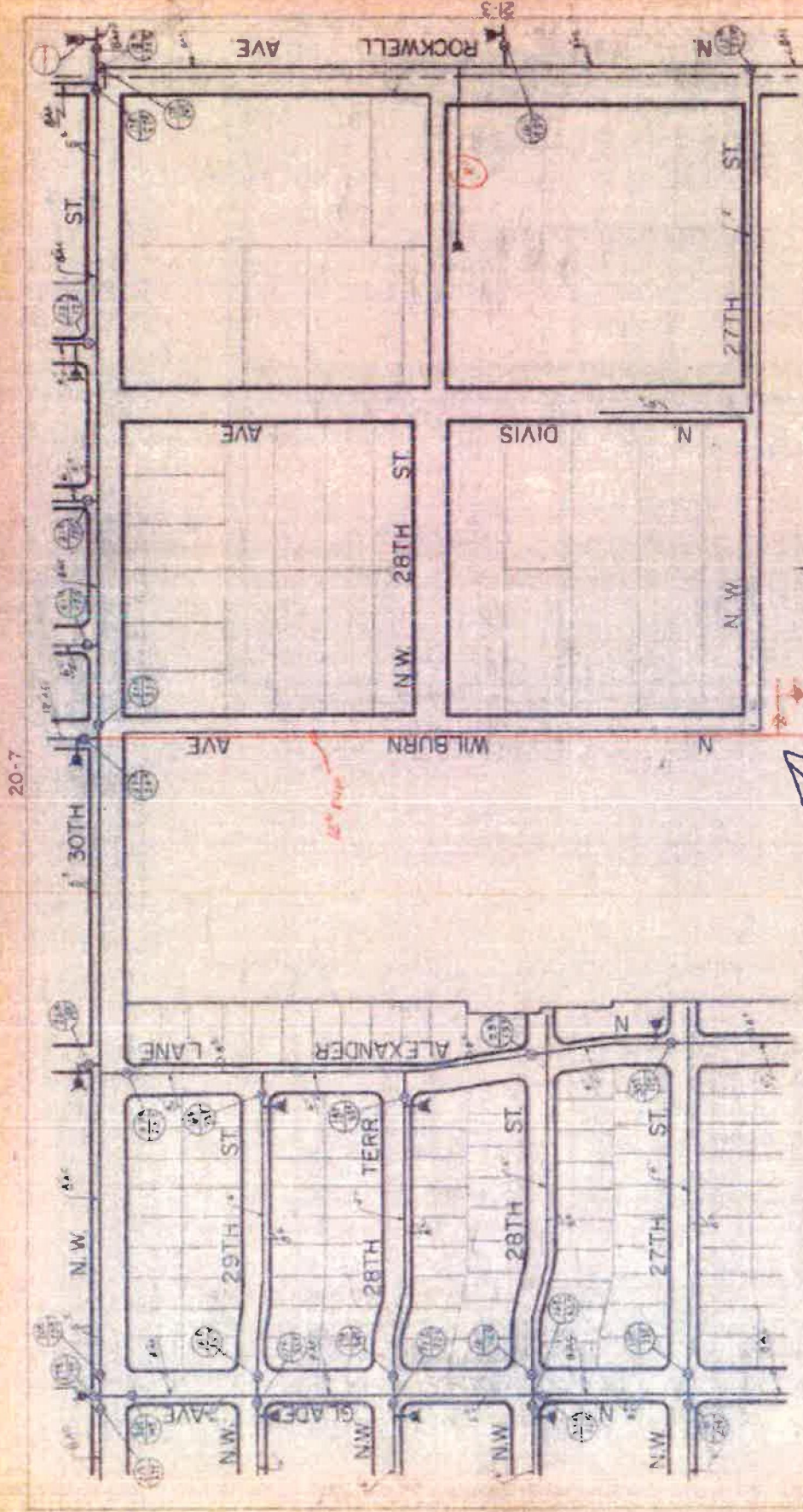
Rev 2-11-66

SCALE 1" = 200'

20-5

20-6

WATER



THIS MAP WAS PREPARED FOR THE OKLAHOMA INDUSTRIAL DEVELOPMENT AND HOME DEPARTMENT, STATE PLANNING AGENCY, AND WAS FINANCED IN PART THROUGH AN URBAN PLANNING GRANT FROM THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT UNDER THE PROVISIONS OF SECTION 201 OF THE HOUSING ACT OF 1954, 25 AMERICAN.

20-6

SCALE 1"=200'

20-5

20-3

Larry Stein  
Oklahoma County Assessor's  
Office



## Ownership Radius Report

This Report is for Account Number R173786690 and is a 300-foot radius from the outside of the polygon. If the minimum number of different owners was not reached it was extended by 100-foot increments until the required number of different owners was reached, or the maximum distance was reached. This report does not constitute a legal survey or document, for definitive description of real property and ownership; consult the deeds recorded in the Oklahoma County Clerks Office.



# FINAL PLAT of HARMONY GROVE ADDITION

## BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, 1M CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

### OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT, SARKER CAPITAL, LLC., DOES HEREBY CERTIFY THAT IT IS THE OWNER OF AND THE ONLY PERSON, FIRM, OR CORPORATION HAVING ANY RIGHT, TITLE OR INTEREST IN AND TO THE LAND SHOWN ON THE ANNEXED PLAT, AND THAT THEY HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED, AND THAT THEY HEREBY DEDICATE ALL THE STREETS AND EASEMENTS SHOWN HEREON TO THE PUBLIC FOR THE PURPOSES OF STREETS, UTILITIES AND DRAINAGE, FOR THEIR HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGN FOREVER, AND HAVE CAUSED THE SAME TO BE RELEASED FROM ALL ENCUMBRANCES SO THAT THE TITLE IS CLEAR, EXCEPT AS SHOWN IN THE ABSTRACTOR'S CERTIFICATE. AFTER INITIAL INSTALLATION OF ELECTRIC, TELEPHONE, CABLE, AND GAS LINES, ANY DUPLICATE LINES, INCLUDING TRANSFORMERS AND PEDESTALS, MUST BE INSTALLED COMPLETELY UNDERGROUND.

IN WITNESS WHEREOF, THE UNDERSIGNED HAVE CAUSED THIS INSTRUMENT TO BE EXECUTED THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_. COVENANTS, RESERVATIONS AND RESTRICTIONS FOR THIS ADDITION ARE CONTAINED IN A SEPARATE INSTRUMENT.

SARKER CAPITAL, LLC.

COMPANY REPRESENTATIVE

STATE OF OKLAHOMA

SS:

COUNTY OF \_\_\_\_\_

NAME OF TITLE COMPANY

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, ON THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_, PERSONALLY APPEARED \_\_\_\_\_ OF \_\_\_\_\_, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT ON BEHALF OF SAID COMPANY, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID COMPANY, FOR THE USES AND PURPOSES HEREIN SET FORTH.

VICE-PRESIDENT

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

### LEGAL DESCRIPTION

A Tract of land located in the West Half (W/2) of the Southeast Quarter (SE/4) of Section Twenty (20), Township Twelve (12) North, Range Four (4) West, I.M., in the City of Bethany, Oklahoma County, Oklahoma and being more particularly described as follows:

Commencing at the Northeast Corner of the West Half (W/2) of Said Southeast Quarter (SE/4); Thence S00°06'31"E a distance of 989.12 feet to the Point of Beginning; Thence continuing S00°06'31"E a distance of 850.77 feet; Thence S89°28'47"W a distance of 165.00 feet; Thence S00°06'31"W (Measured S00°06'31"E) a distance of 95.00 feet; Thence S89°28'47"W a distance of 492.39 feet; Thence N00°19'35"W a distance of 334.26 feet; Thence N89°25'47"E a distance of 136.21 feet; Thence N00°34'13"W a distance of 610.91 feet; Thence N89°25'47"E a distance of 527.38 feet to the Point of Beginning.

### LAND SURVEYOR'S CERTIFICATE

I, ROSS C. MORRIS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL REGISTERED LAND SURVEYOR, AND THAT THE ANNEXED PLAT CORRECTLY REPRESENTS A CAREFUL SURVEY MADE UNDER MY DIRECTION, AND THAT THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.

ROSS C. MORRIS, L.S. 1457

STATE OF OKLAHOMA

SS:

COUNTY OF \_\_\_\_\_

CITY CLERK

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED ROSS C. MORRIS, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE ABOVE INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED. GIVEN UNDER MY HAND AND SEAL THE \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

### BONDED ABSTRACTOR'S CERTIFICATE

THE UNDERSIGNED, A DULY QUALIFIED AND LAWFULLY BONDED ABSTRACTOR OF TITLES, IN AND FOR THE COUNTY OF OKLAHOMA, STATE OF OKLAHOMA, HEREBY CERTIFIES THAT THE RECORDS OF SAID COUNTY SHOW THAT THE TITLE TO THE LAND ON THE ANNEXED PLAT IS VESTED IN SARKER CAPITAL, LLC., AN OKLAHOMA CORPORATION, THAT ON THE \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_, THERE ARE NO ACTIONS PENDING OR JUDGMENTS OF ANY NATURE IN ANY COURT OR ON FILE WITH THE CLERK OF ANY COURT IN SAID COUNTY AND STATE AGAINST SAID LAND, OR THE OWNERS THEREOF, AND THAT THE TAXES ARE PAID FOR THE YEAR 20\_\_\_\_, AND PRIOR YEARS, THAT THERE ARE NO OUTSTANDING TAX SALES CERTIFICATES AGAINST SAID LAND, AND NO TAX DEED ARE ISSUED TO ANY ONE PERSON, THAT THERE ARE NO LIENS, MORTGAGES, OR OTHER ENCUMBRANCES OF ANY KIND AGAINST THE LAND INCLUDED IN THE ANNEXED PLAT, EXCEPT MORTGAGES, MINERALS, WATER RIGHTS AND EASEMENTS OF RECORD PREVIOUSLY RESERVED, EXCEPTED OR GRANTED.

IN WITNESS WHEREOF, SAID BONDED ABSTRACTOR HAS CAUSED THIS INSTRUMENT TO BE EXECUTED THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

### COUNTY TREASURER'S CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM THE DULY ELECTED, QUALIFIED OR ACTING COUNTY TREASURER OF OKLAHOMA COUNTY, STATE OF OKLAHOMA, THAT THE TAX RECORDS OF SAID COUNTY SHOW ALL TAXES ARE PAID FOR THE YEAR 20\_\_\_\_, AND PRIOR YEARS ON THE LAND SHOWN ON THE ANNEXED PLAT, THAT THE REQUIRED STATUTORY SECURITY HAS BEEN DEPOSITED IN THE OFFICE OF THE COUNTY TREASURER, GUARANTEEING PAYMENT OF THE CURRENT YEARS TAXES.

IN WITNESS WHEREOF, SAID COUNTY TREASURER HAS CAUSED THIS INSTRUMENT TO BE EXECUTED AT CITY OF OKLAHOMA CITY, THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

COUNTY TREASURER

### CITY PLANNING COMMISSION APPROVAL

I, \_\_\_\_\_, PLANNING DIRECTOR FOR THE CITY OF BETHANY, STATE OF OKLAHOMA, HEREBY CERTIFY THAT THE BETHANY PLANNING COMMISSION DULY APPROVED THE ANNEXED PLAT ON THE \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

PLANNING DIRECTOR

### ACCEPTANCE OF DEDICATION OF CITY COUNCIL

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BETHANY, OKLAHOMA, THAT THE DEDICATIONS SHOWN ON THE ANNEXED PLAT ARE HEREBY ACCEPTED. ADOPTED BY THE COUNCIL OF THE CITY OF BETHANY, OKLAHOMA THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

ATTEST:

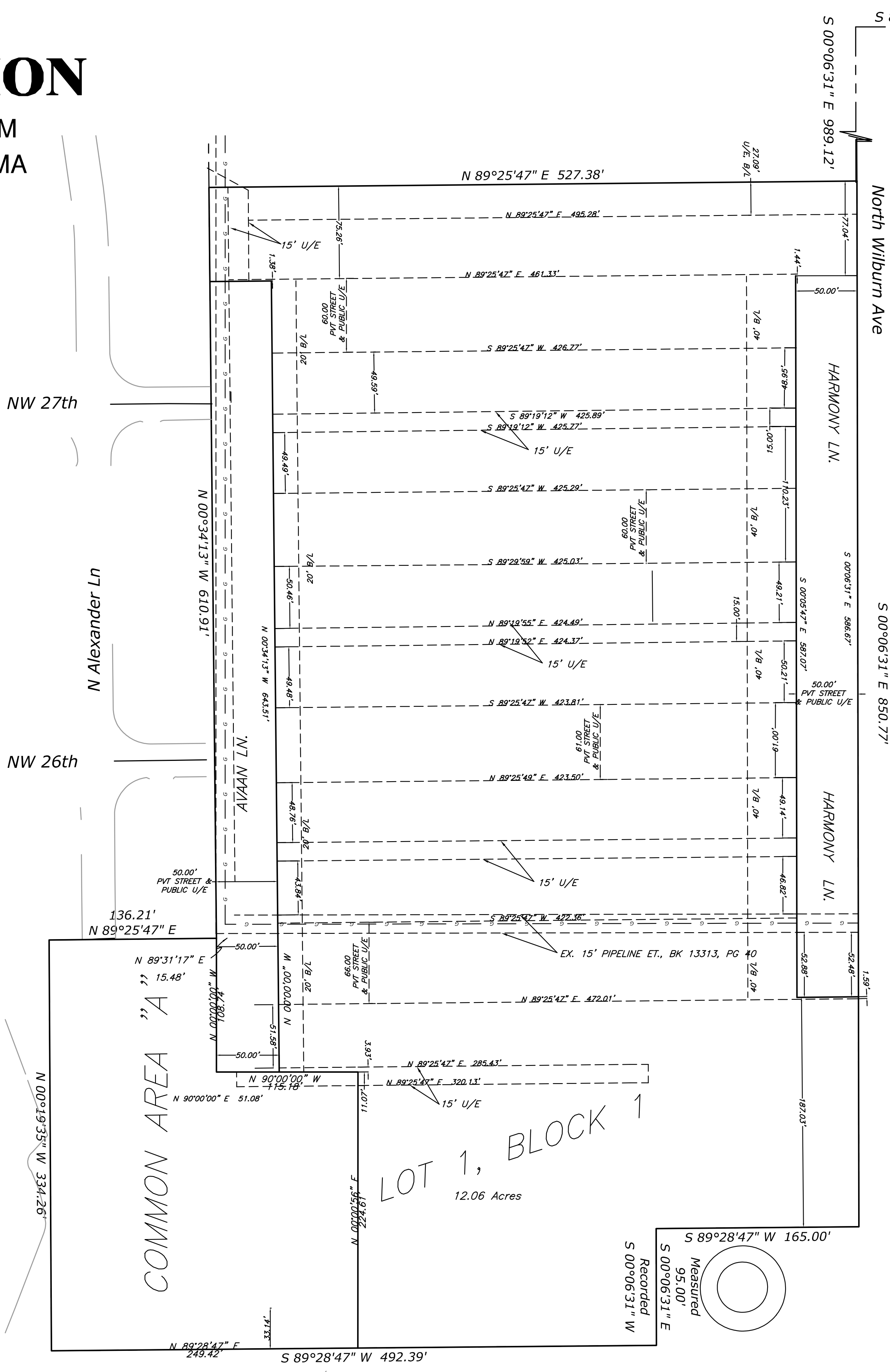
CITY CLERK

MAYOR

### CERTIFICATE OF CITY CLERK

I, \_\_\_\_\_, CITY CLERK OF THE CITY OF BETHANY, STATE OF OKLAHOMA, HEREBY CERTIFY THAT I HAVE EXAMINED THE RECORDS OF SAID CITY AND FIND THAT ALL DEFERRED PAYMENTS OR UNMATURED INSTALLMENTS UPON SPECIAL ASSESSMENTS HAVE BEEN PAID IN FULL AND THAT THERE IS NO SPECIAL ASSESSMENT PROCEDURE NOW PENDING AGAINST THE LAND SHOWN ON THE ANNEXED PLAT ON THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

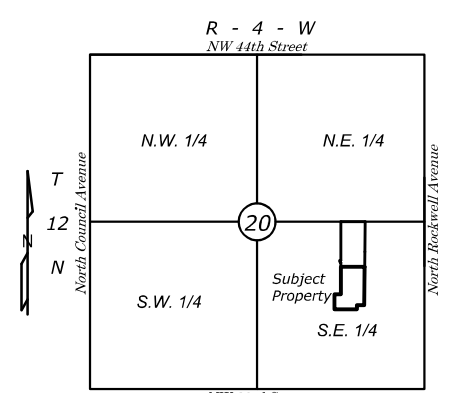
CITY CLERK



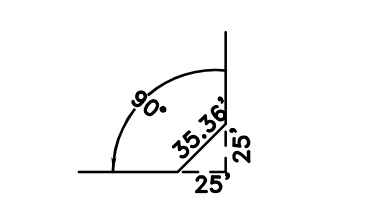
S 89°25'47" W 1310.14'  
NE COR. SEC. 20  
T12N, R4W, 1M.

BASIS OF BEARING - DEED OF RECORD

SCALE: 1"=60'



LOCATION MAP  
1:25000



TYPICAL BLOCK CORNER

### LEGEND

- U/E = UTILITY EASEMENT
- D/E = DRAINAGE EASEMENT
- B/L = BUILDING LINE
- NR = NON RADIAL LINE

THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND SAID FINAL PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 11 SECTION 41-108 OF THE OKLAHOMA STATE STATUTES.

ALL CENTERLINE CONTROL WILL BE PK NAIL IF ASPHALT PAVING OR CUT "X" IF CONCRETE PAVING.

ALL PROPERTY CORNERS WILL BE 3/8" REBAR WITH L.S. CAP.

NOTE: ALL UTILITIES SHALL BE LOCATED IN THE PUBLIC STREET RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS.

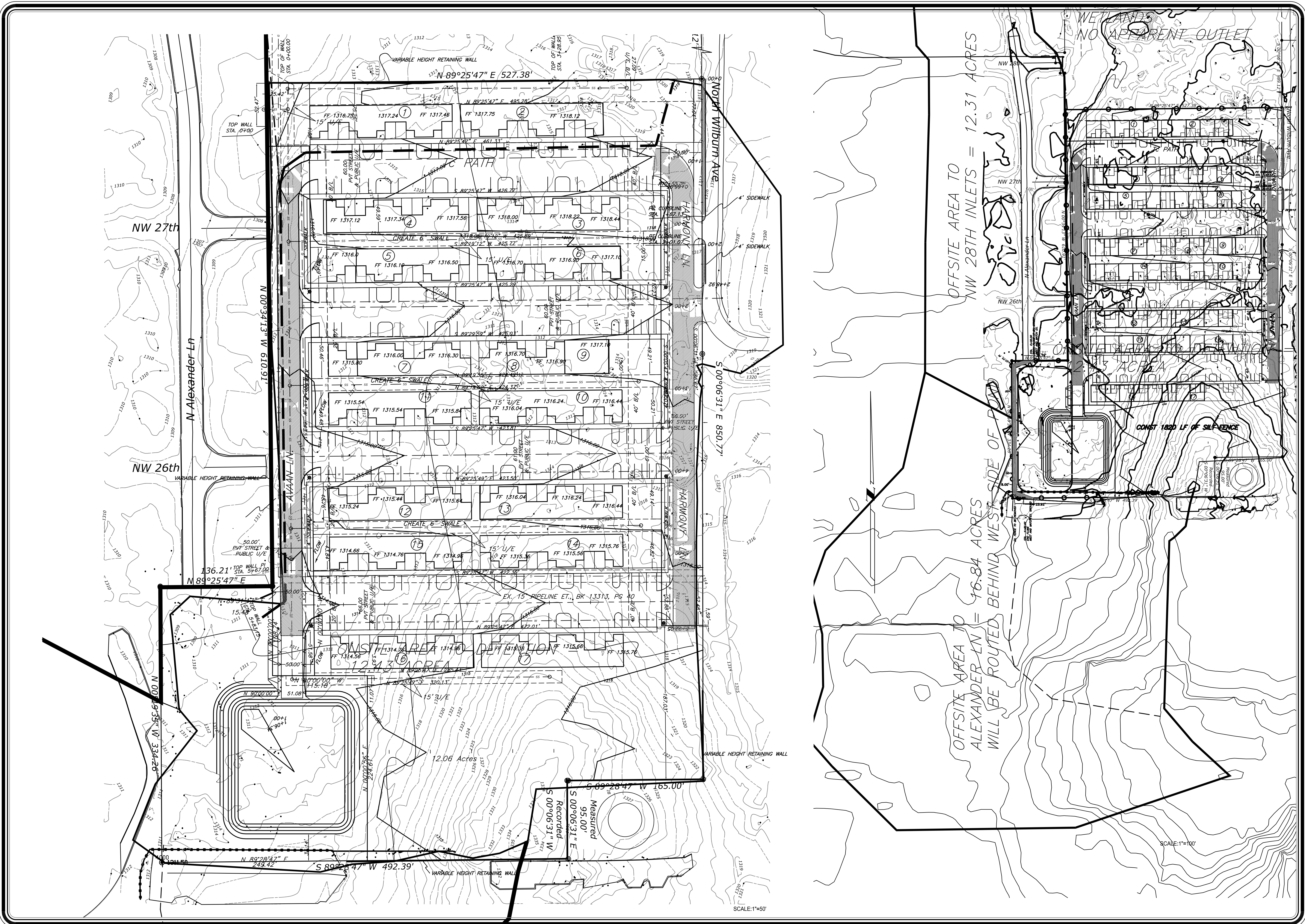
THE MAINTENANCE OR ALL PRIVATE STREET, ALL COMMON AREAS/DRAINAGE EASEMENTS, ALL MEDIANS, AND PUBLIC UTILITY EASEMENTS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

HARMONY GROVE ADDITION  
PRIOR TO FILING

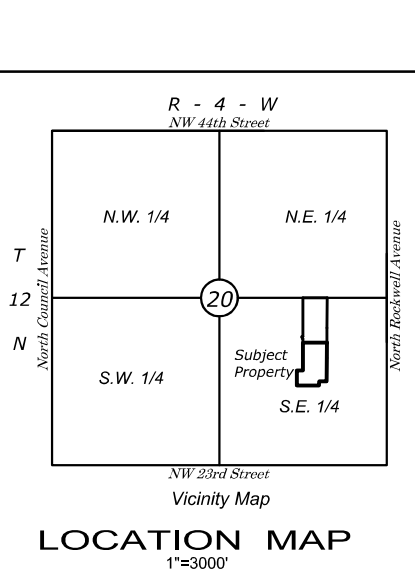


617 N.W. 27th STREET  
MOORE, OK 73160  
(405) 912-2775  
(405) 912-2322 FAX  
CA 3549, EXP. 6-30-25

Seal area containing: OWNERS (CORPORATE SEAL), NOTARY (SEAL), REGISTERED PROFESSIONAL LAND SURVEYOR (ROSS C. MORRIS, L.S. 1457, OKLAHOMA), BONDED ABSTRACTOR'S SEAL, JESSICA E. MORRIS (NOTARY PUBLIC-CLERK OF OKLAHOMA, COMMISSION #15090759, WT COMMISSION EXPIRES OCTOBER 2019), TREASURER'S SEAL, CITY CORPORATE SEAL.



**CITY OF BETHANY**



- LEGEND**
- SS SANITARY SEWER LINE
  - W WATER LINE
  - OHE OVERHEAD ELECTRIC
  - EGS EXISTING GAS SERVICE
  - SSM SANITARY SEWER MANHOLE
  - SSMH STORM SEWER MANHOLE
  - PP POWER POLE
  - GA GUY ANCHOR
  - LP LIGHT POLE
  - FH FIRE HYDRANT
  - WV WATER VALVE
  - WM WATER METER
  - GV GAS VALVE
  - GM GAS METER
  - EM ELECTRIC METER
  - TEP TELEPHONE PEDESTAL
  - MW MONITOR WELL
  - SIGN SIGN
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - FENCE FENCE
  - SIF SET IRON PIN
  - FIP FOUND IRON PIN
  - BENCH BENCHMARK

**DRAINAGE MAP - OFFSITE**

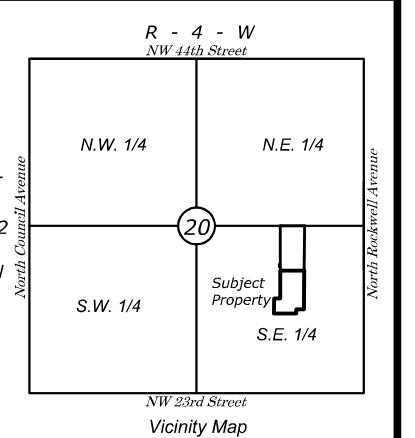
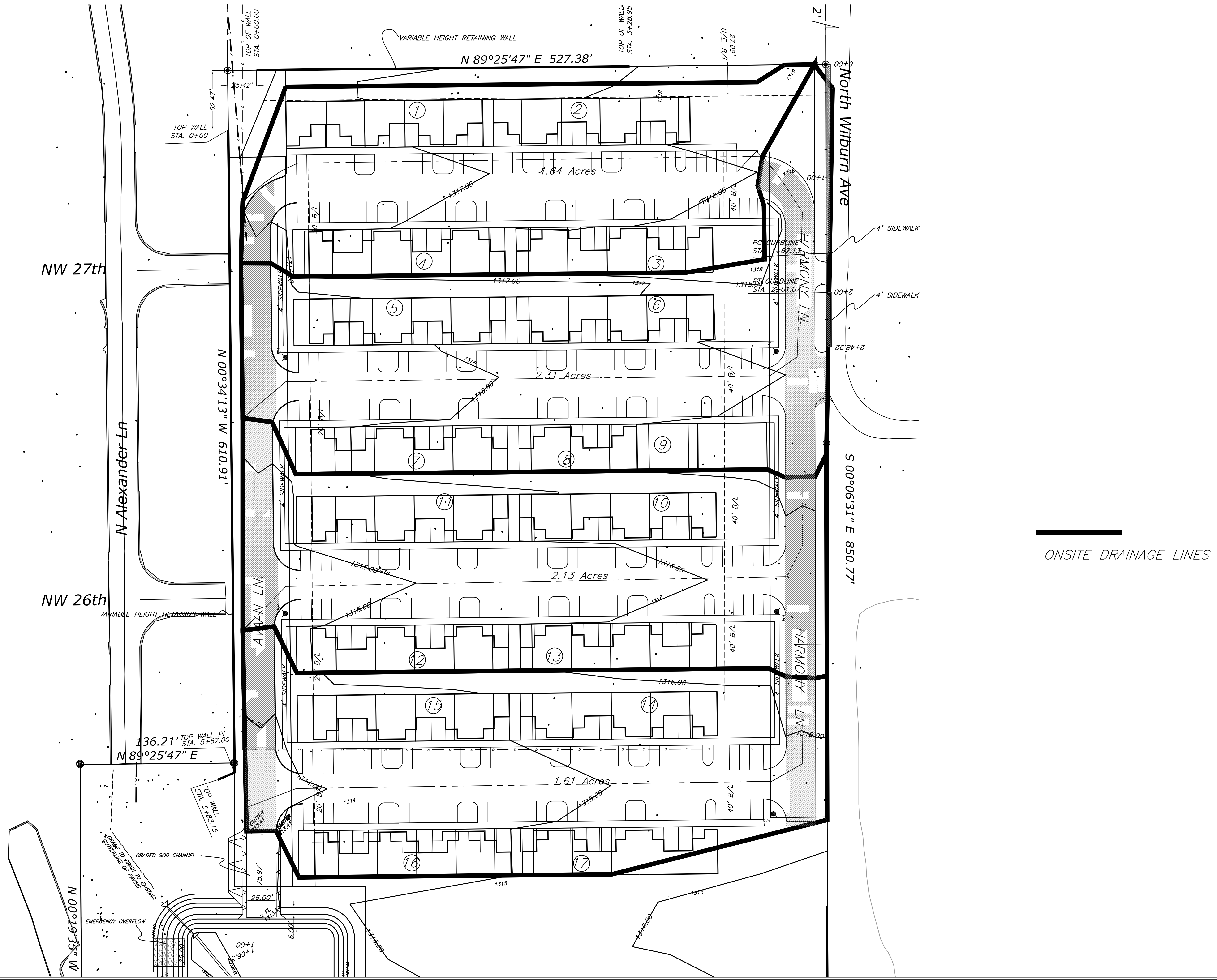
**HARMONY GROVES**

BEING A PART OF THE SE1/4, SEC. 20, T12N, R4W, 1M  
CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

**MORRIS**  
ENGINEERING AND SURVEYING  
www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX

P.E. EXP. 9-30-24  
REGISTERED PROFESSIONAL ENGINEER  
**ROSS C. MORRIS**  
16837  
OKLAHOMA  
CAL. 3549, EXP. 6-30-25

DATE	2-28-24
SIGNATURE	<i>[Signature]</i>
DRAINAGE MAP - OFFSITE TO SERVE HARMONY GROVES	
HORIZONTAL:	VERTICAL:
JOB NO.	REF. NO.
SHEET NO. <b>3</b>	OF <b>16</b>



LOCATION MAP

- LEGEND
- SS SANITARY SEWER LINE
  - W WATER LINE
  - OHE OVERHEAD ELECTRIC
  - EGS EXISTING GAS SERVICE
  - SSM SANITARY SEWER MANHOLE
  - SSMH SANITARY SEWER MANHOLE
  - PP POWER POLE
  - GA GUY ANCHOR
  - LP LIGHT POLE
  - FH FIRE HYDRANT
  - WV WATER VALVE
  - WM WATER METER
  - GV GAS VALVE
  - GM GAS METER
  - EM ELECTRIC METER
  - TEP TELEPHONE PEDESTAL
  - MW MONITOR WELL
  - SIGN SIGN
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - FENCE FENCE
  - SIP SET IRON PIN
  - FIP FOUND IRON PIN
  - BENCHMARK BENCHMARK

ONSITE DRAINAGE MAP

TO SERVE

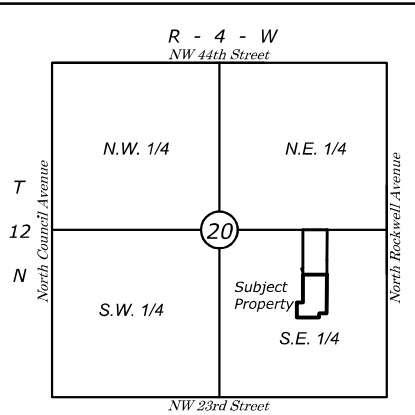
HARMONY GROVES

BEING A PART OF THE SE1/4, SEC. 20, T12N, R4W, IM  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

**MORRIS**  
ENGINEERING AND SURVEYING  
www.rmorrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX

P.E. EXP. 9-30-24  
REGISTERED PROFESSIONAL ENGINEER  
ROSS C. MORRIS  
16837  
OKLAHOMA

DATE	10-24-23
SIGNATURE	<i>[Signature]</i>
ONSITE DRAINAGE MAP TO SERVE HARMONY GROVES	
HORIZONTAL: 1"=40'	VERTICAL: 1"=20'
JOB NO.	REF. NO.
JOB NO.	REF. NO.
SHEET NO. 4 OF 16	

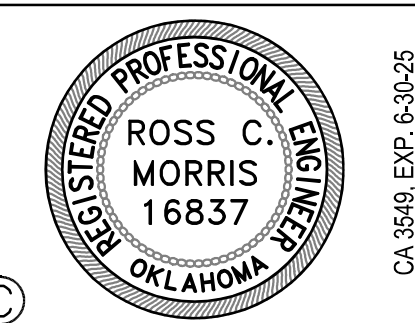


LOCATION MAP

- LEGEND
- SS SANITARY SEWER LINE
  - W WATER LINE
  - OHE OVERHEAD ELECTRIC
  - EGS EXISTING GAS SERVICE
  - SM SANITARY SEWER MANHOLE
  - SMH STORM SEWER MANHOLE
  - PP POWER POLE
  - GA GUY ANCHOR
  - LP LIGHT POLE
  - FH FIRE HYDRANT
  - WV WATER VALVE
  - WM WATER METER
  - GM GAS METER
  - EM ELECTRIC METER
  - TEP TELEPHONE PEDESTAL
  - MW MONITOR WELL
  - SIGN SIGN
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - FENCE FENCE
  - SIP SET IRON PIN
  - FIP FOUND IRON PIN
  - BENCH BENCHMARK

GRADING PLAN  
TO SERVE  
**HARMONY GROVES**  
BEING A PART OF THE SE1/4, SEC. 20, T12N, R4W, 1M  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

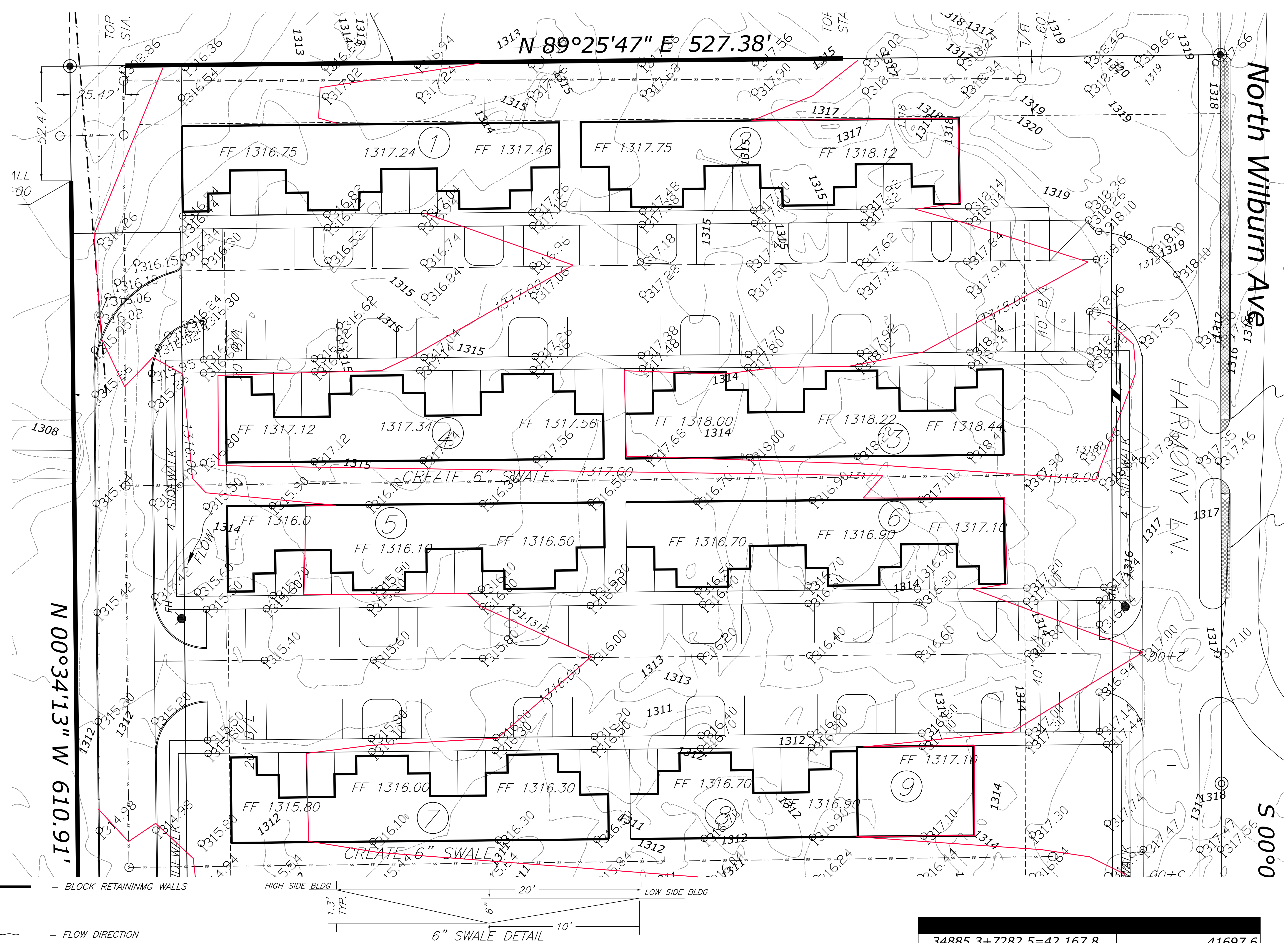
**MORRIS**  
ENGINEERING AND SURVEYING  
www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX



DATE: 2-12-24  
SIGNATURE: *[Signature]*

GRADING PLAN  
TO SERVE  
**HARMONY GROVES**

HORIZONTAL: 1"=50'  
JOB NO. REF. NO. VERTICAL: REF. NO.  
SHEET NO. 1 OF 1



N 00°34'13\" W 610.91'

North Wilburn Ave

HARMONY LN.

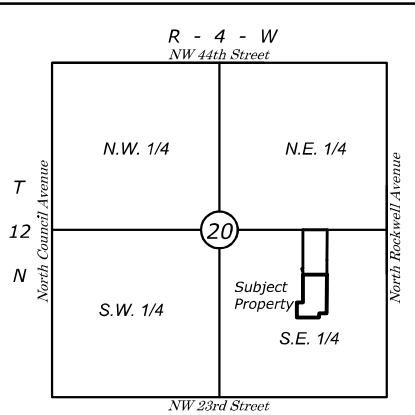
S 00°0'

34885.3+7282.5=42,167.8      41697.6

= BLOCK RETAINING WALLS  
HIGH SIDE BLDG      20'      LOW SIDE BLDG  
1.3' TYP.  
6\" SWALE DETAIL      10'  
= FLOW DIRECTION

34885.3+7282.5=42,167.8 41697.6

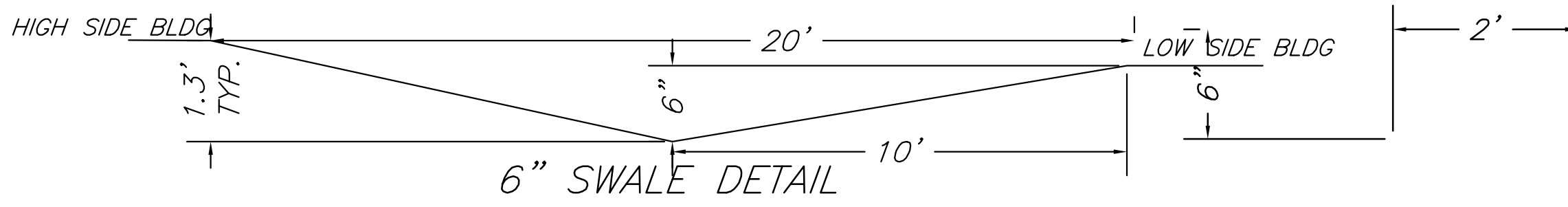
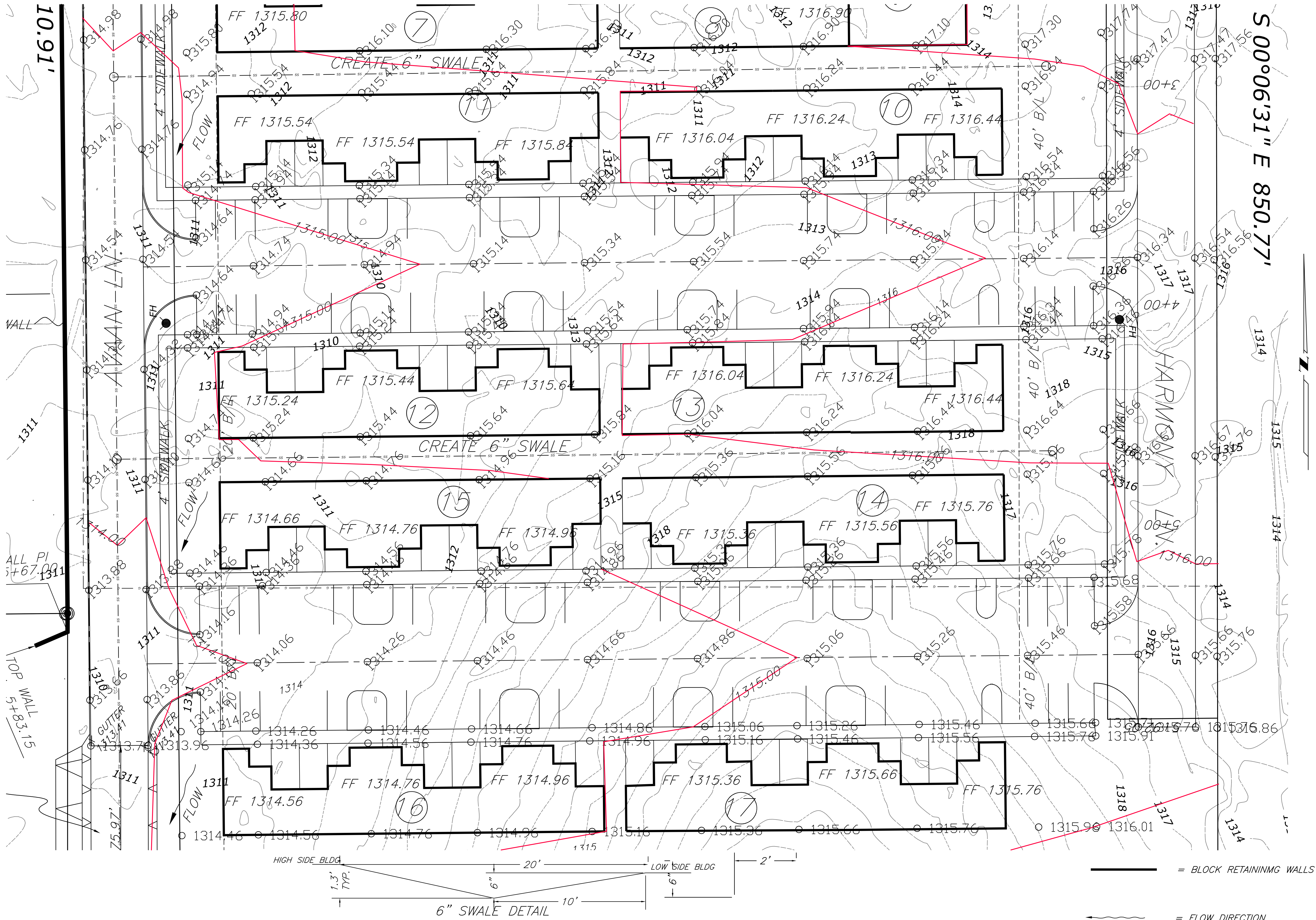
CITY OF BETHANY



LOCATION MAP 1"=2000'

LEGEND

- SS SANITARY SEWER LINE
- W WATER LINE
- OHE OVERHEAD ELECTRIC
- EXISTING GAS SERVICE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- POWER POLE
- GUY ANCHOR
- LIGHT POLE
- FIRE HYDRANT
- WATER VALVE
- WM WATER METER
- GM GAS METER
- EM ELECTRIC METER
- TELEPHONE PEDESTAL
- MONITOR WELL
- SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- FENCE
- SET IRON PIN
- FOUND IRON PIN
- BENCHMARK



— = BLOCK RETAINING WALLS

— = FLOW DIRECTION

**GRADING PLAN**  
TO SERVE  
**HARMONY GROVES**  
BEING A PART OF THE SE1/4, SEC. 20, T12N, R4W, 1M  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

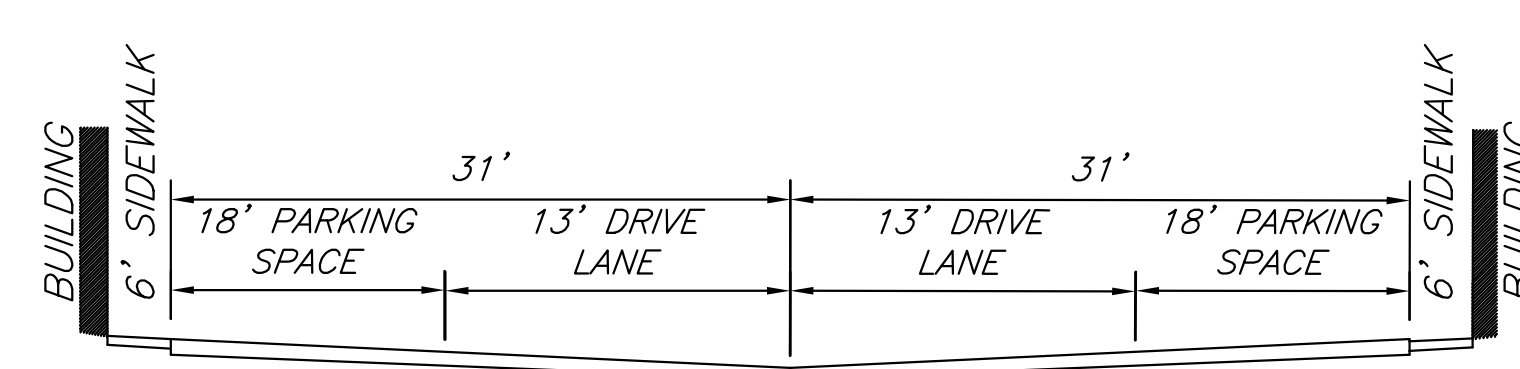
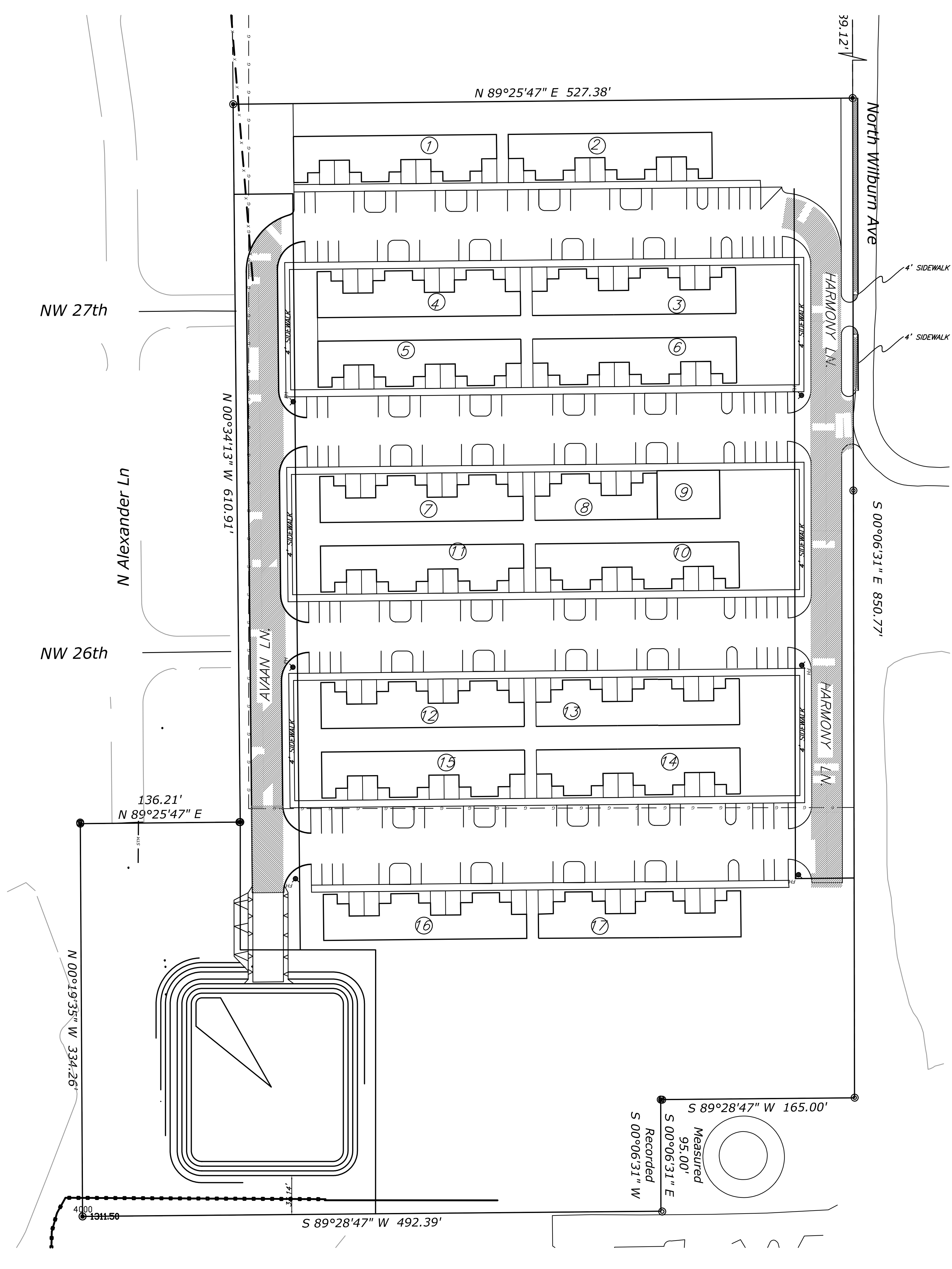
**MORRIS**  
ENGINEERING AND SURVEYING  
www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC. (405) 912-2322 FAX



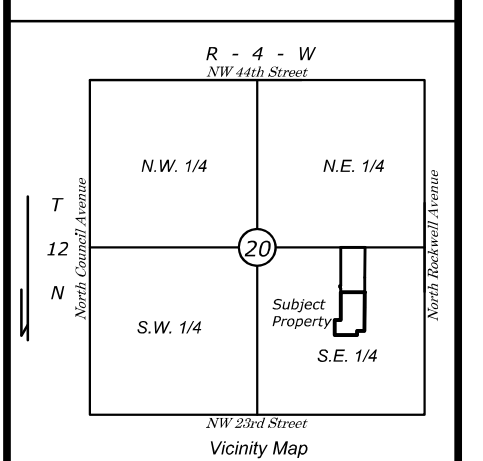
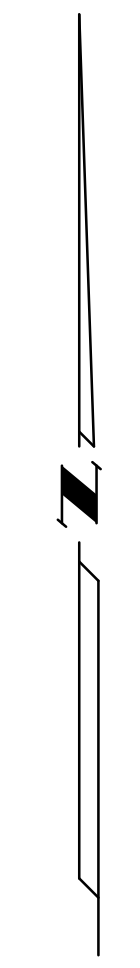
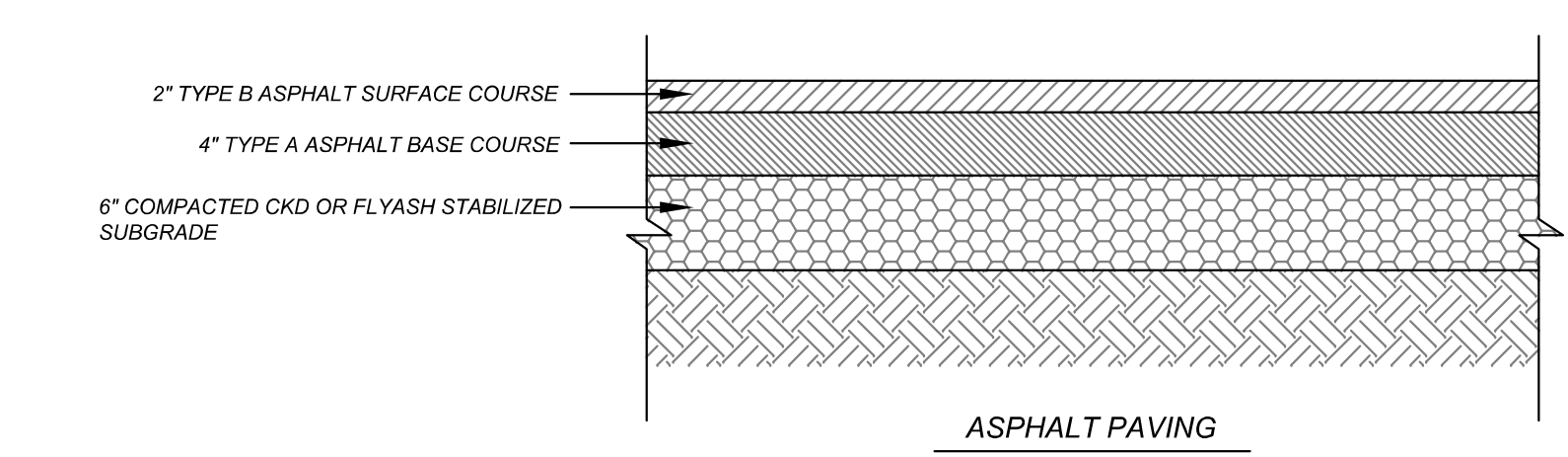
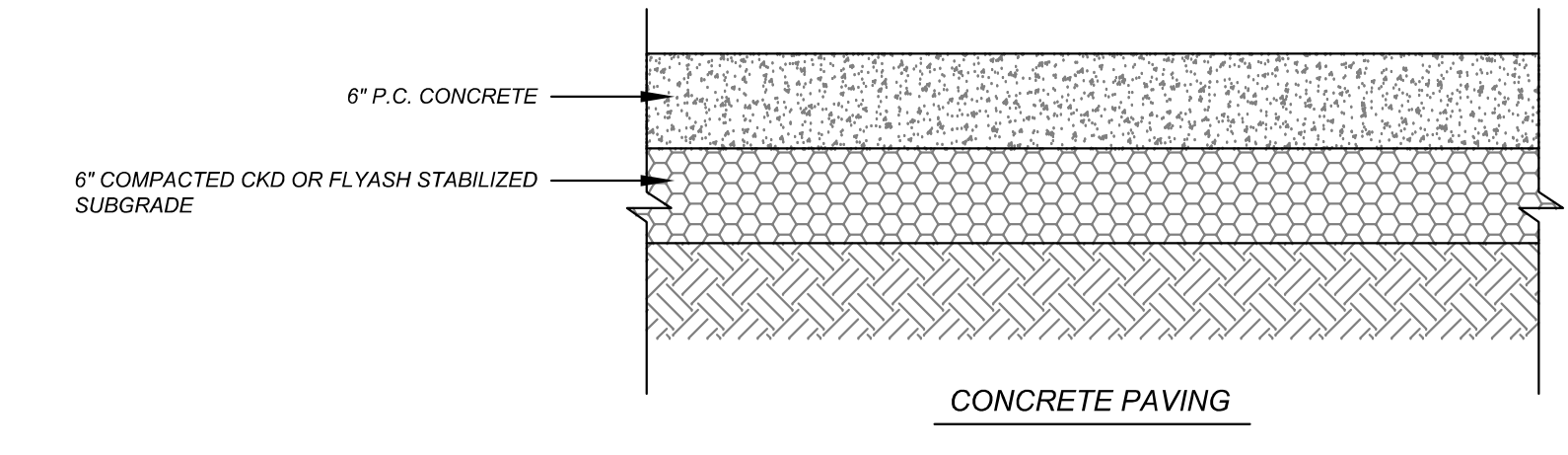
DATE 2-12-24  
SIGNATURE [Signature]

GRADING PLAN TO SERVE  
**HARMONY GROVES**

HORIZONTAL: 1"=50' VERTICAL:  
JOB NO. REF. NO. REF. NO.



TYP. PAVING SECTION OF EAST WEST STREETS  
SEE DETAILS  
UNLESS OTHERWISE SHOWN  
NTS.



LOCATION MAP  
1"=3000'

LEGEND

- SS— SANITARY SEWER LINE
- W— WATER LINE
- OHE— OVERHEAD ELECTRIC
- G— EXISTING GAS SERVICE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ POWER POLE
- ⊙ GUY ANCHOR
- ⊙ LIGHT POLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE PEDESTAL
- ⊙ MONITOR WELL
- ⊙ SIGN
- ⊙ TRAFFIC SIGNAL POLE
- ⊙ TRAFFIC SIGNAL BOX
- X— FENCE
- ⊙ SET IRON PIN
- ⊙ FOUND IRON PIN
- ⊙ BENCHMARK

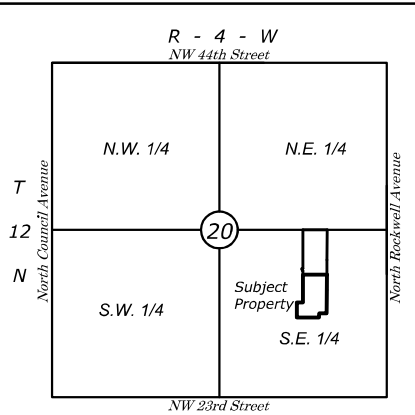
**PAVING GENERAL LAYOUT**  
TO SERVE  
**HARMONY GROVES**  
BEING A PART OF THE SE14, SEC. 20, T12N, R4W, 1M  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

**MORRIS**  
ENGINEERING AND SURVEYING  
www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX

REGISTERED PROFESSIONAL ENGINEER  
ROSS C. MORRIS  
16837  
OKLAHOMA  
P.E. EXP. 9-30-24  
CA. 3549 EXP. 6-30-25

DATE	2-12-24
SIGNATURE	<i>RM</i>
PAVING GENERAL LAYOUT TO SERVE HARMONY GROVES	
HORIZONTAL: 1"=50'	VERTICAL:
JOB NO.	REF. NO.
REF. NO.	REF. NO.
SHEET NO. 1 OF 1	





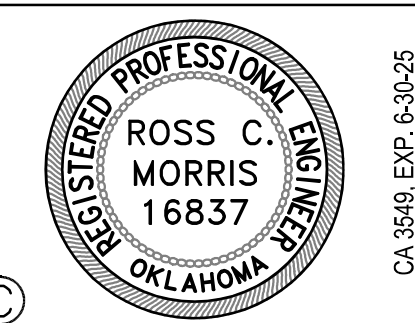
LOCATION MAP

- LEGEND**
- SS SANITARY SEWER LINE
  - W WATER LINE
  - OHE OVERHEAD ELECTRIC
  - EGS EXISTING GAS SERVICE
  - SSM SANITARY SEWER MANHOLE
  - SM Storm Manhole
  - PP POWER POLE
  - GA GUY ANCHOR
  - LP LIGHT POLE
  - FH FIRE HYDRANT
  - WV WATER VALVE
  - WM WATER METER
  - GM GAS VALVE
  - EM GAS METER
  - EM ELECTRIC METER
  - TP TELEPHONE PEDESTAL
  - MON MONITOR WELL
  - SIGN SIGN
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - FENCE FENCE
  - FI FOUND IRON PIN
  - FP FOUND IRON PIN
  - BENCH BENCHMARK

DATE: 2-12-24  
 SIGNATURE: [Signature]  
 GRADING PLAN TO SERVE  
 HARMONY GROVES

**GRADING PLAN**  
 TO SERVE  
**HARMONY GROVES**  
 BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, 1M  
 CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

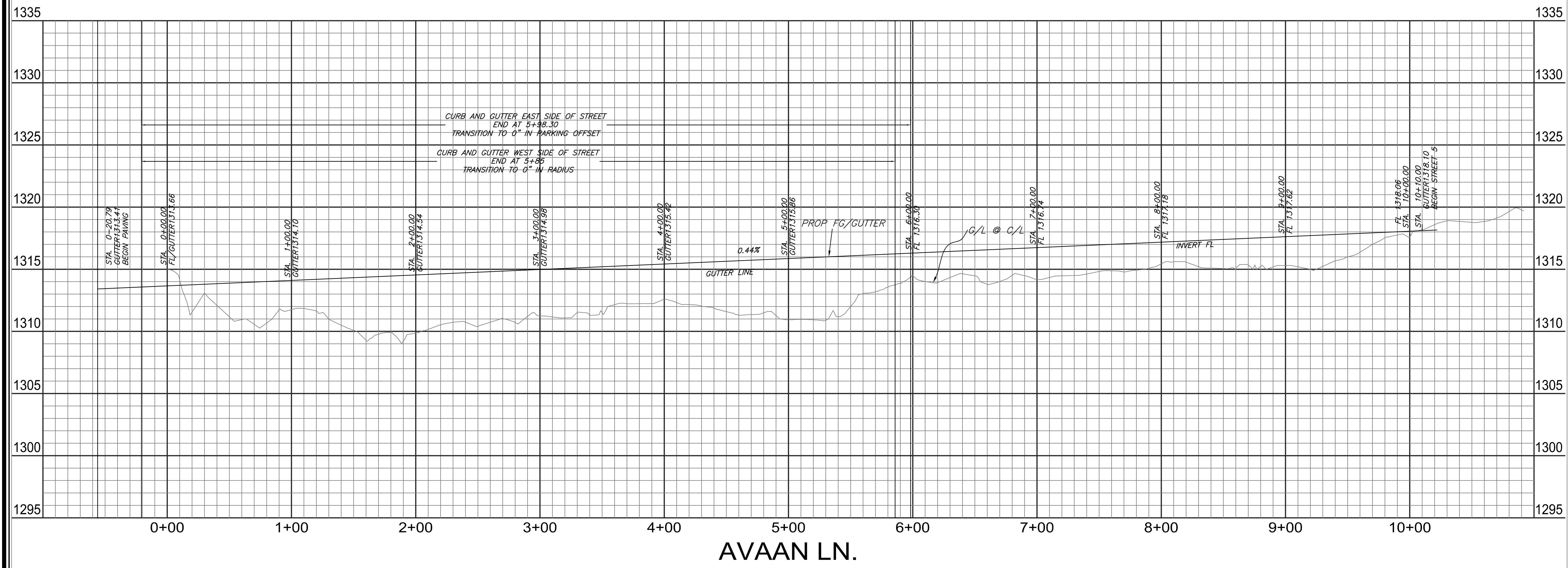
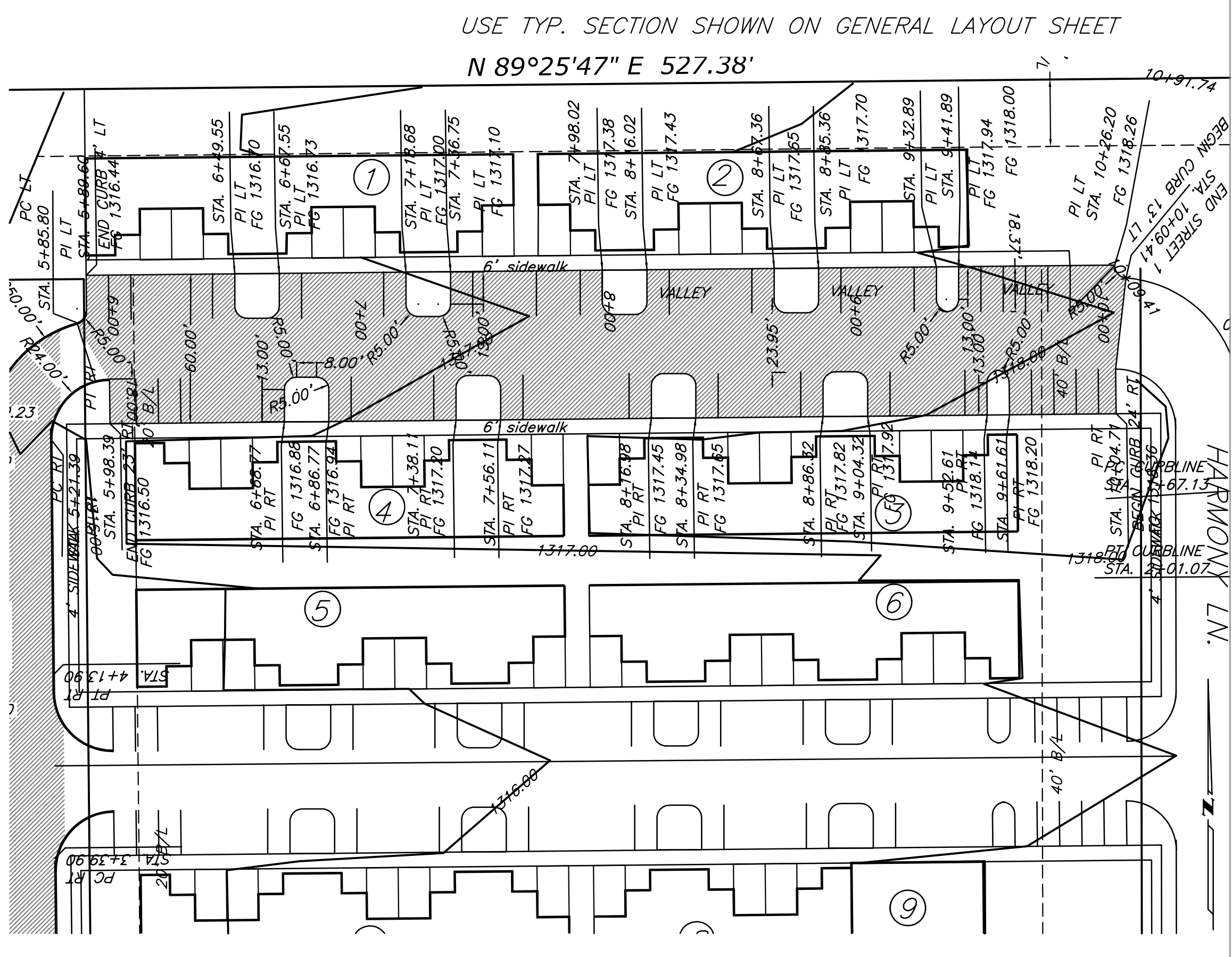
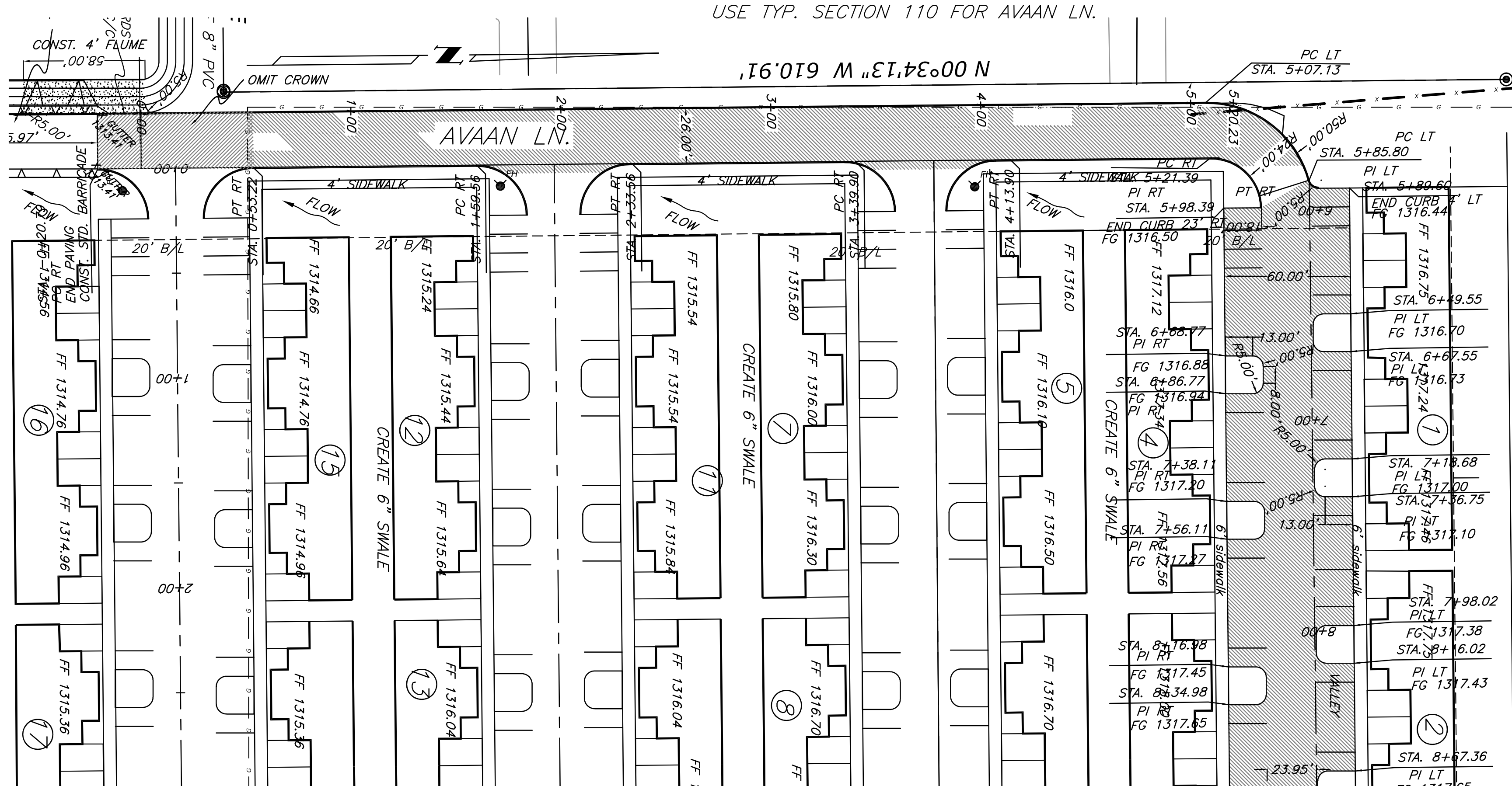
**MORRIS**  
 ENGINEERING AND SURVEYING  
 www.morrisengineering.com  
 617 N.W. 27TH ST. MOORE, OK 73160  
 (405) 912-2775 OFC (405) 912-2322 FAX



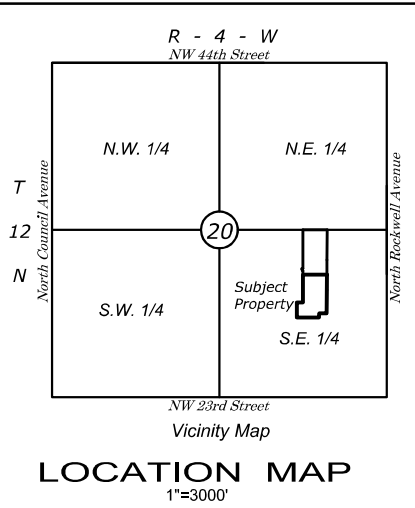
P.E. EXP. 9-30-24  
 DATE: 2-12-24  
 SIGNATURE: [Signature]  
 GRADING PLAN TO SERVE  
 HARMONY GROVES  
 HORIZONTAL: 1"=50' VERTICAL:  
 JOB NO. REF. NO. REF. NO.  
 SHEET NO. 1 OF 1

USE TYP. SECTION 110 FOR AVAAN LN.

USE TYP. SECTION SHOWN ON GENERAL LAYOUT SHEET



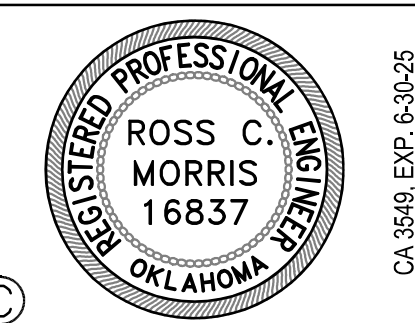
AVAAN LN.



LOCATION MAP

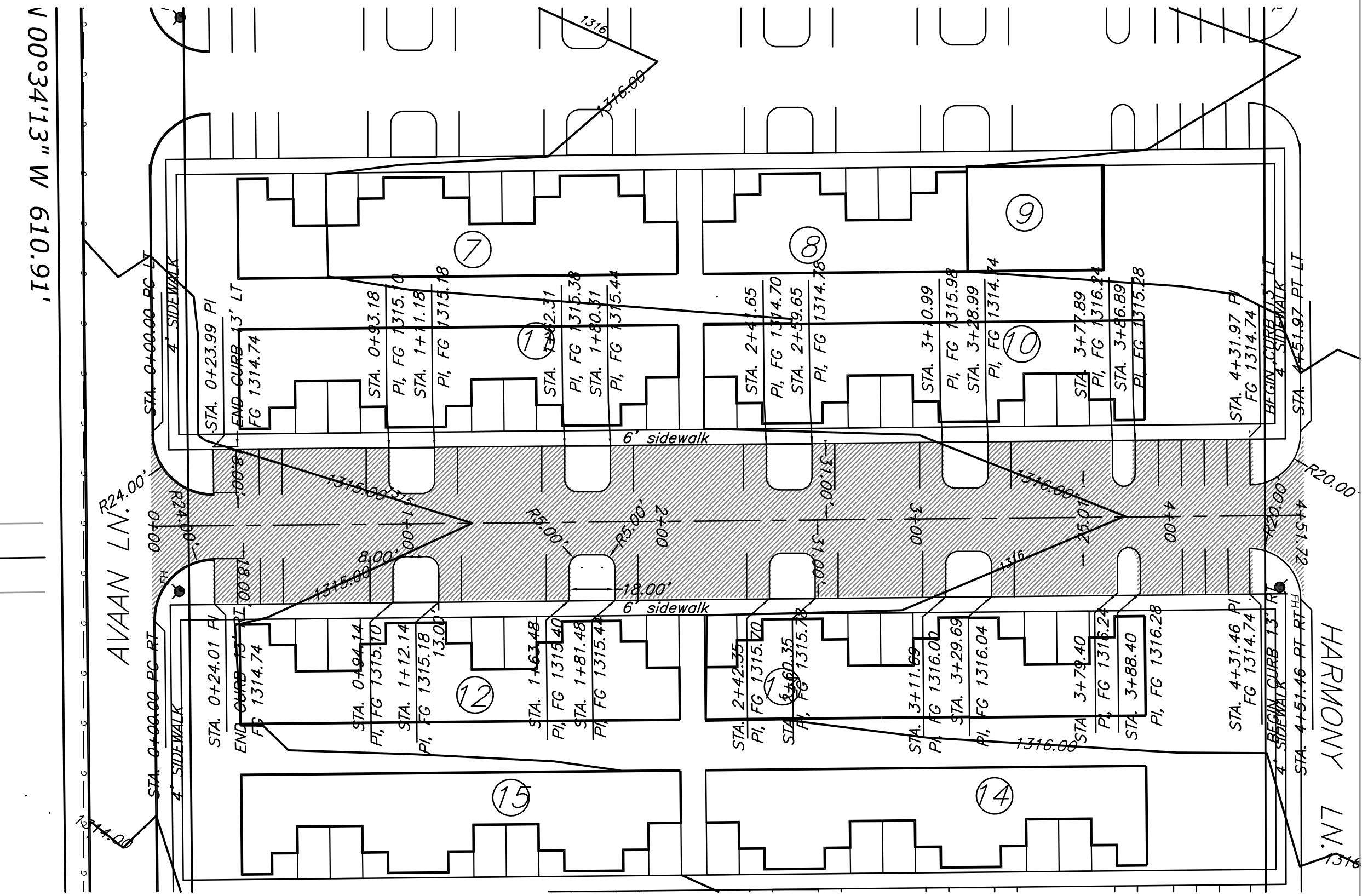
- LEGEND**
- SS SANITARY SEWER LINE
  - W WATER LINE
  - OHE OVERHEAD ELECTRIC
  - EXISTING GAS SERVICE
  - SANITARY SEWER MANHOLE
  - STORM SEWER MANHOLE
  - POWER POLE
  - GUY ANCHOR
  - LIGHT POLE
  - FIRE HYDRANT
  - WATER VALVE
  - WATER METER
  - GAS VALVE
  - GAS METER
  - ELECTRIC METER
  - TELEPHONE PEDESTAL
  - MONITOR WELL
  - SIGN
  - TRAFFIC SIGNAL POLE
  - TRAFFIC SIGNAL BOX
  - FENCE
  - SET IRON PIN
  - FOUND IRON PIN
  - BENCHMARK

GRADING PLAN  
TO SERVE  
**HARMONY GROVES**  
BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, 1M  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



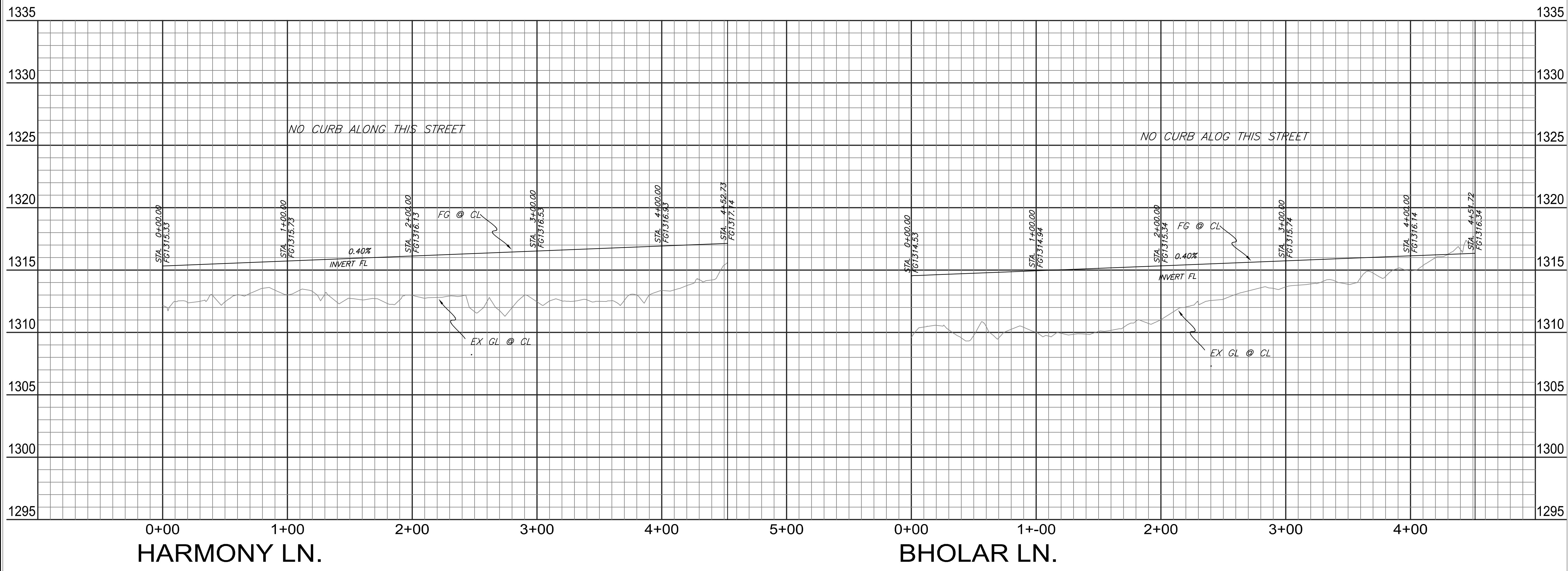
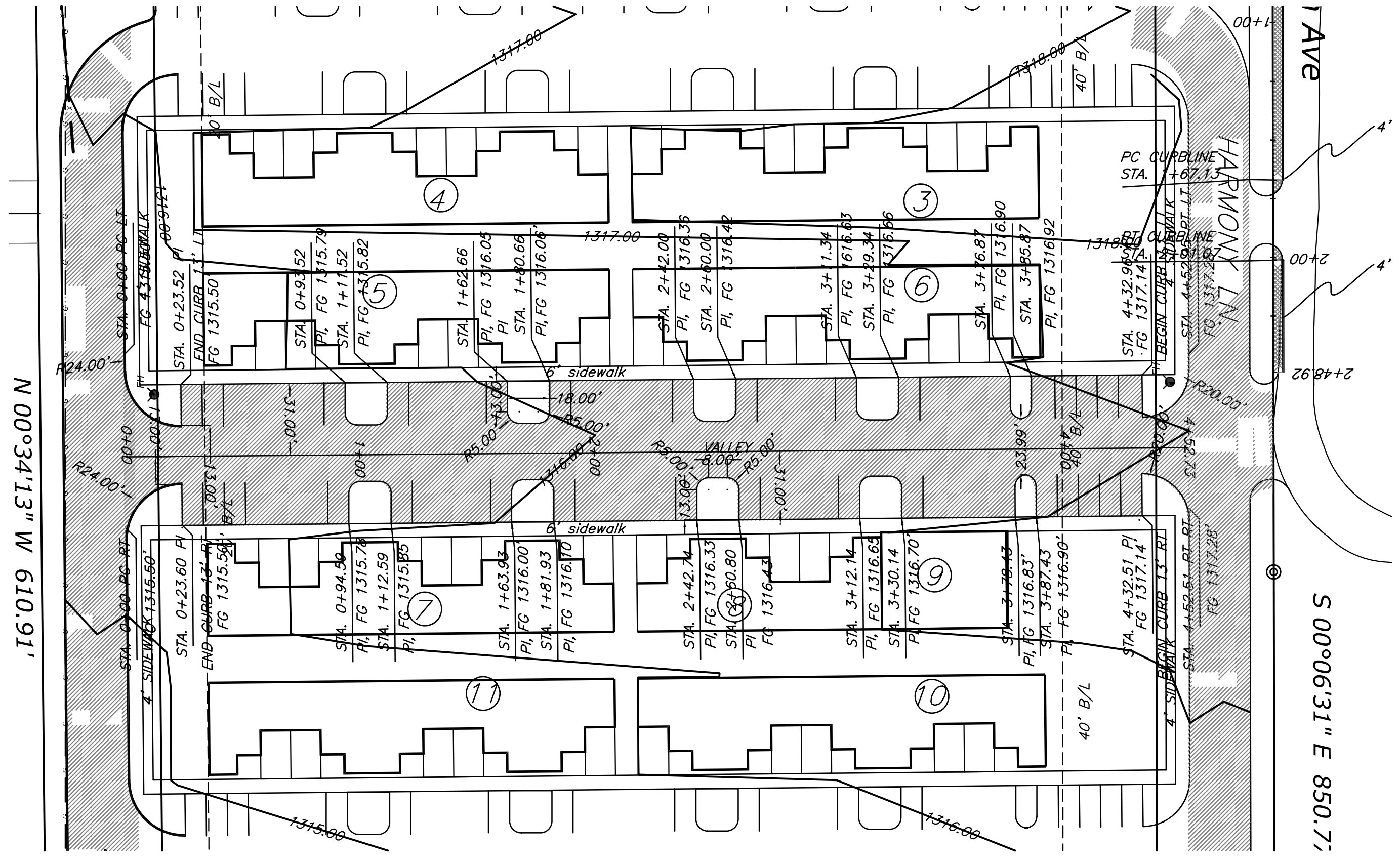
DATE	2-12-24
SIGNATURE	<i>[Signature]</i>
GRADING PLAN TO SERVE HARMONY GROVES	
HORIZONTAL: 1"=50'	VERTICAL:
JOB NO. REF. NO.	REF. NO.
SHEET NO. 1 OF 1	

USE TYP. SECTION SHOWN ON GENERAL LAYOUT SHEET



MEET AND MATCH EX. SUBURBINE 21'

USE TYP. SECTION SHOWN ON GENERAL LAYOUT SHEET

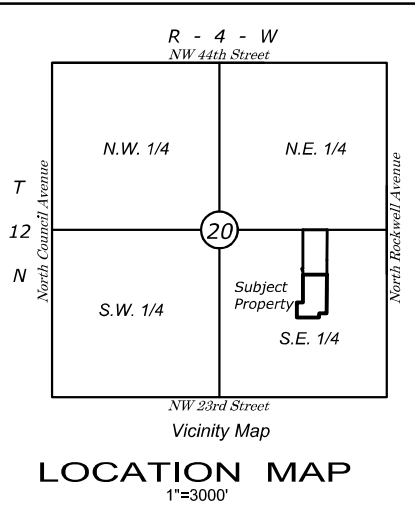


NO CURB ALONG THIS STREET

NO CURB ALONG THIS STREET

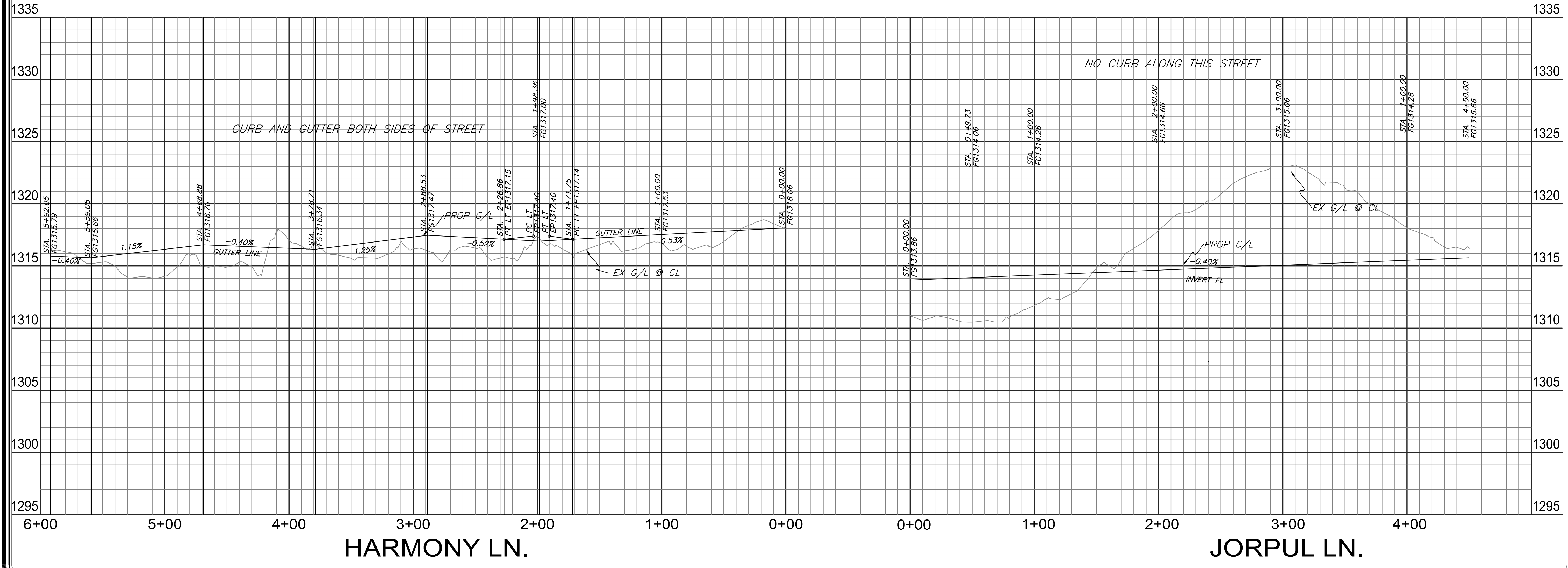
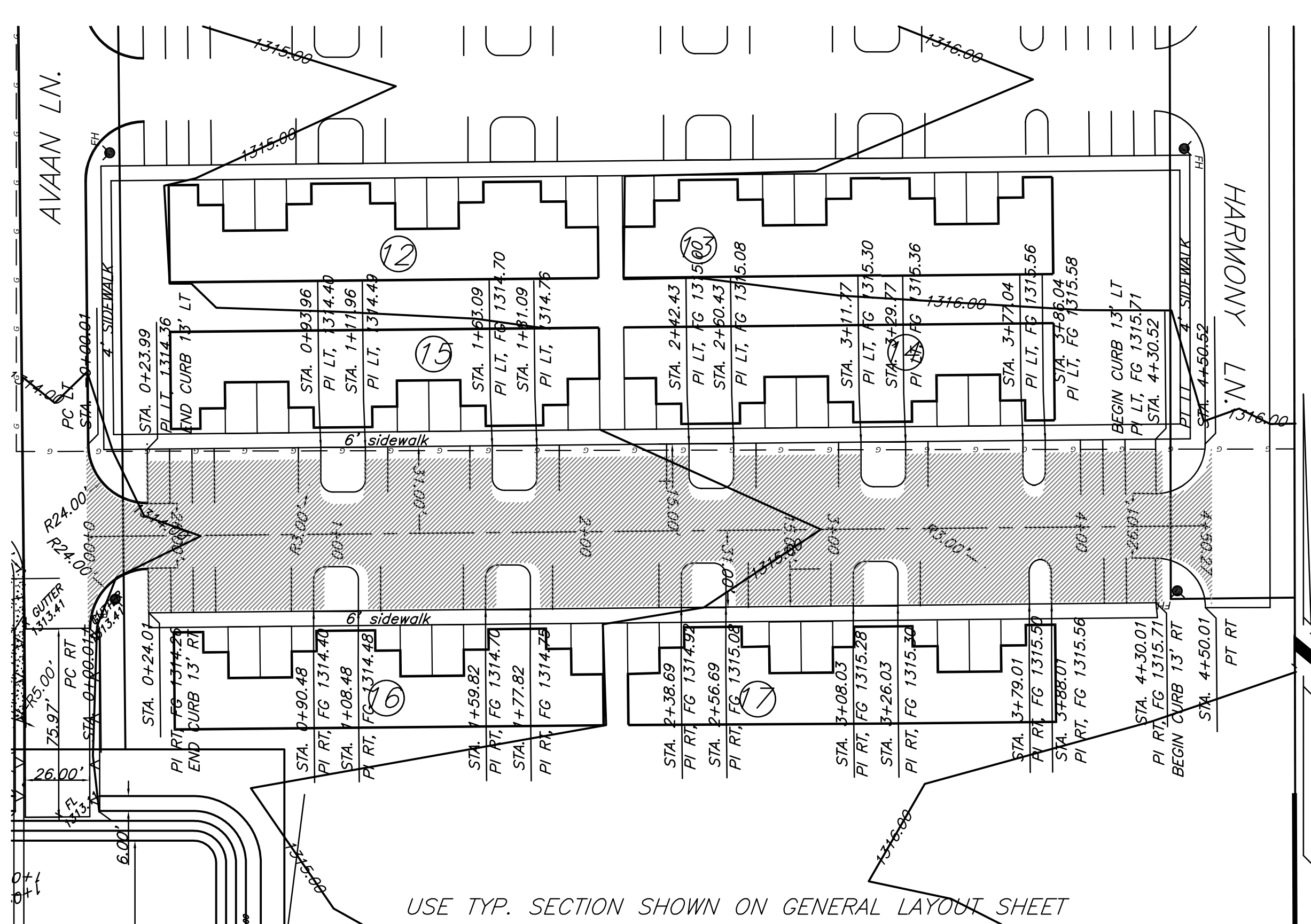
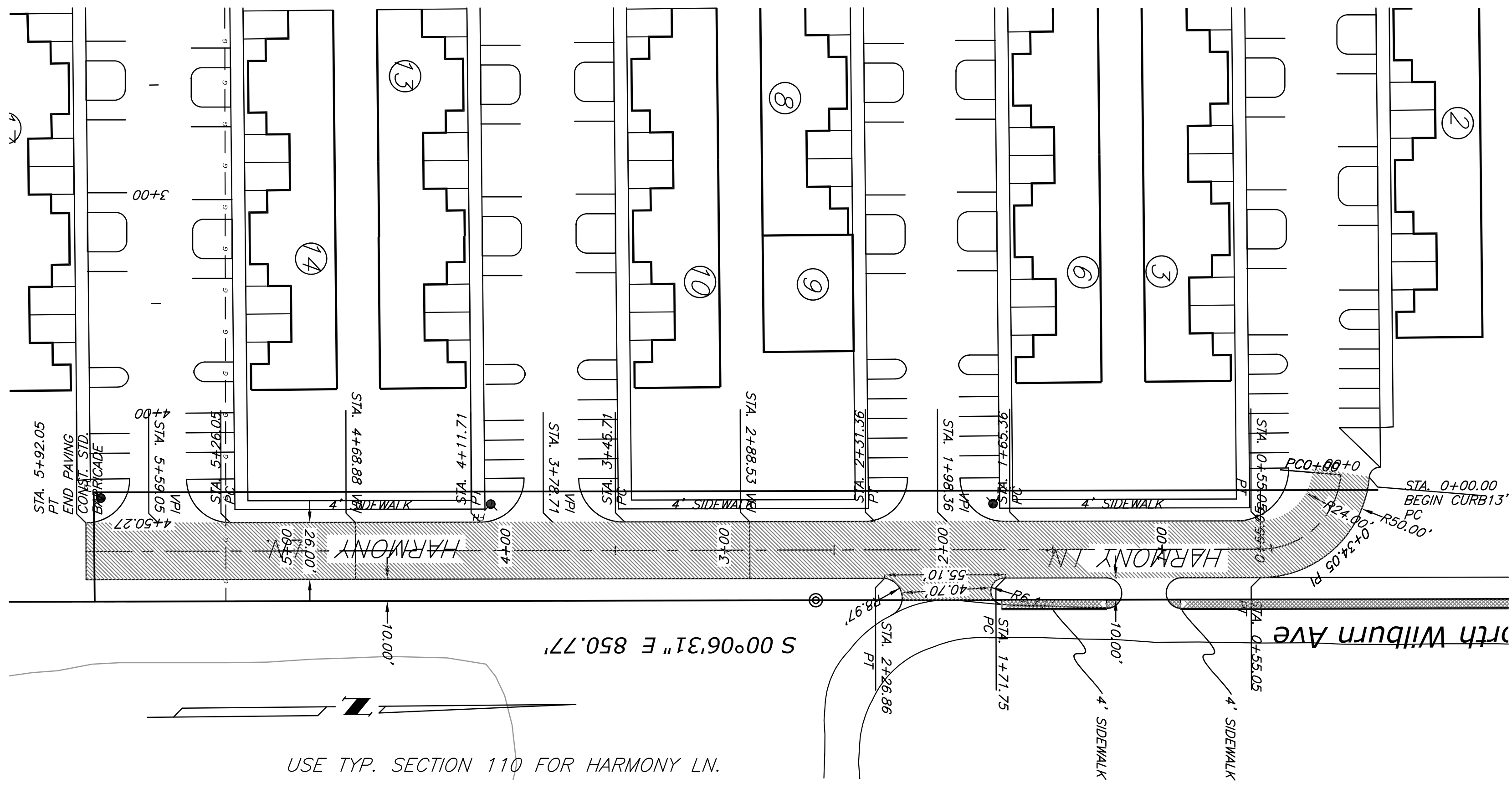
HARMONY LN.

BHOLAR LN.



**LEGEND**

- SS SANITARY SEWER LINE
- W WATER LINE
- OHE OVERHEAD ELECTRIC
- EGS EXISTING GAS SERVICE
- SSM SANITARY SEWER MANHOLE
- SSMH STORM SEWER MANHOLE
- PP POWER POLE
- GA GUY ANCHOR
- LP LIGHT POLE
- FH FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- GV GAS VALVE
- GM GAS METER
- EM ELECTRIC METER
- TEP TELEPHONE PEDESTAL
- MON MONITOR WELL
- SIGN SIGN
- TSP TRAFFIC SIGNAL POLE
- TSB TRAFFIC SIGNAL BOX
- FENCE FENCE
- SIP SET IRON PIN
- FIP FOUND IRON PIN
- BENCH BENCHMARK

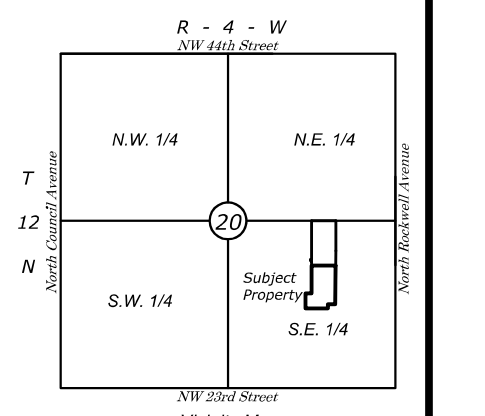


**GRADING PLAN**  
TO SERVE  
**HARMONY GROVES**  
BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, 1M  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

**MORRIS**  
ENGINEERING AND SURVEYING  
www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX



DATE	2-12-24
SIGNATURE	<i>[Signature]</i>
GRADING PLAN TO SERVE HARMONY GROVES	
HORIZONTAL: 1"=50'	VERTICAL:
JOB NO. REF. NO.	REF. NO.
SHEET NO. 1 OF 1	



LOCATION MAP

LEGEND

- SS- SANITARY SEWER LINE
- W- WATER LINE
- OHE- OVERHEAD ELECTRIC
- G- EXISTING GAS SERVICE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ POWER POLE
- ⊙ GUY ANCHOR
- ⊙ LIGHT POLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE PEDESTAL
- ⊙ MONITOR WELL
- ⊙ SIGN
- ⊙ TRAFFIC SIGNAL POLE
- ⊙ TRAFFIC SIGNAL BOX
- X- FENCE
- ⊙ SET IRON PIN
- ⊙ FOUND IRON PIN
- ⊙ BENCHMARK

PAVING PLAN TO SERVE

HARMONY GROVES

BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, IM  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX



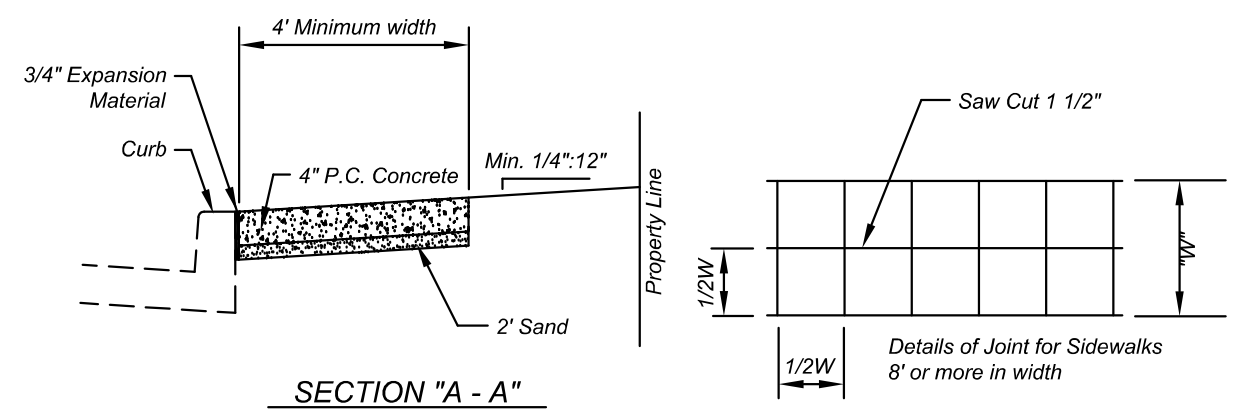
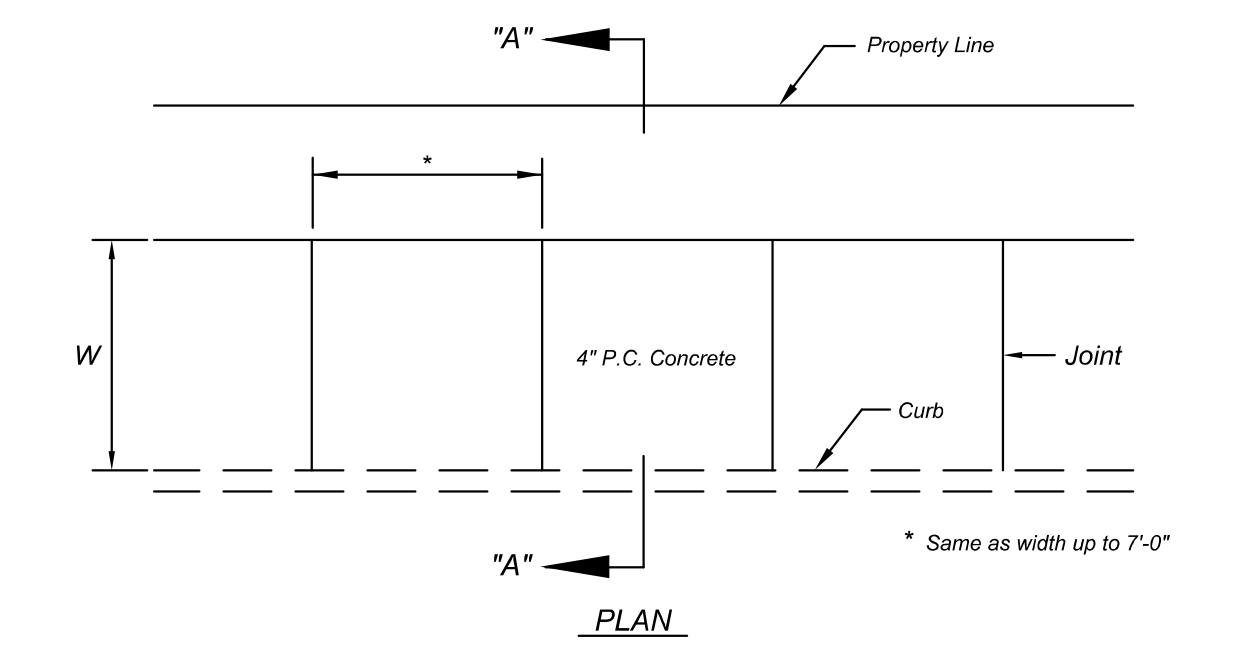
DATE 2-12-24

SIGNATURE *[Signature]*

PAVING PLAN TO SERVE HARMONY GROVES

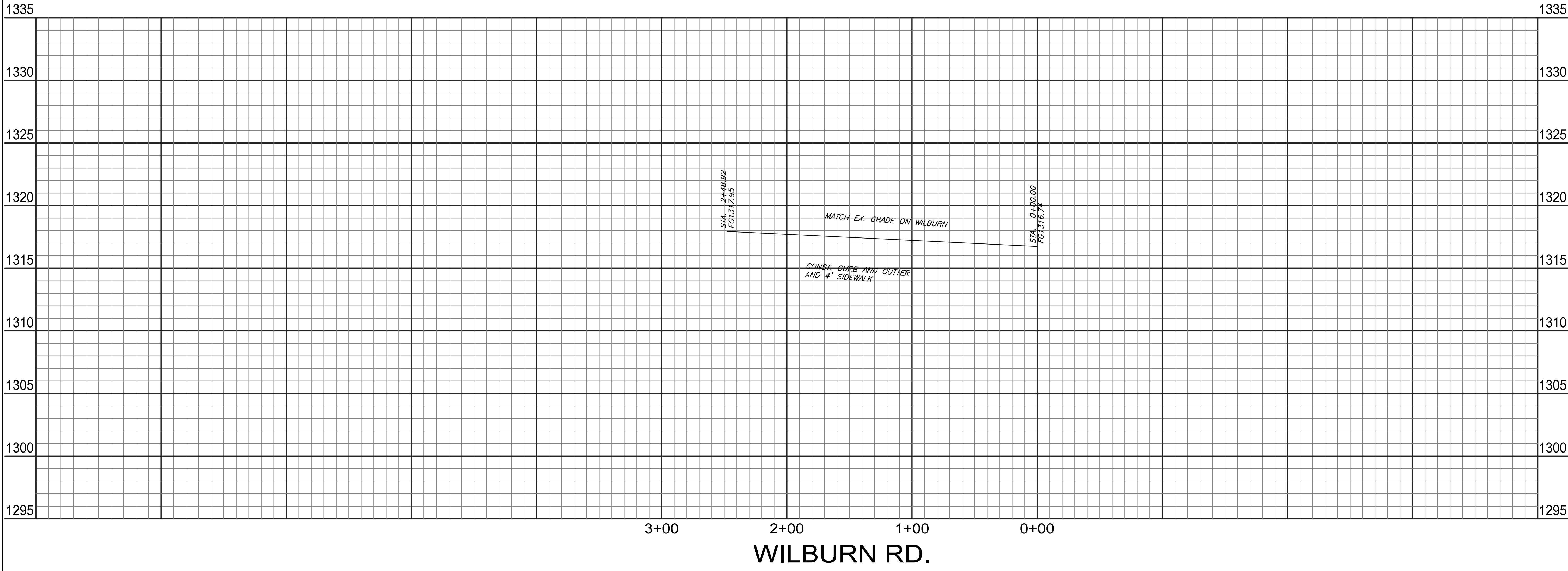
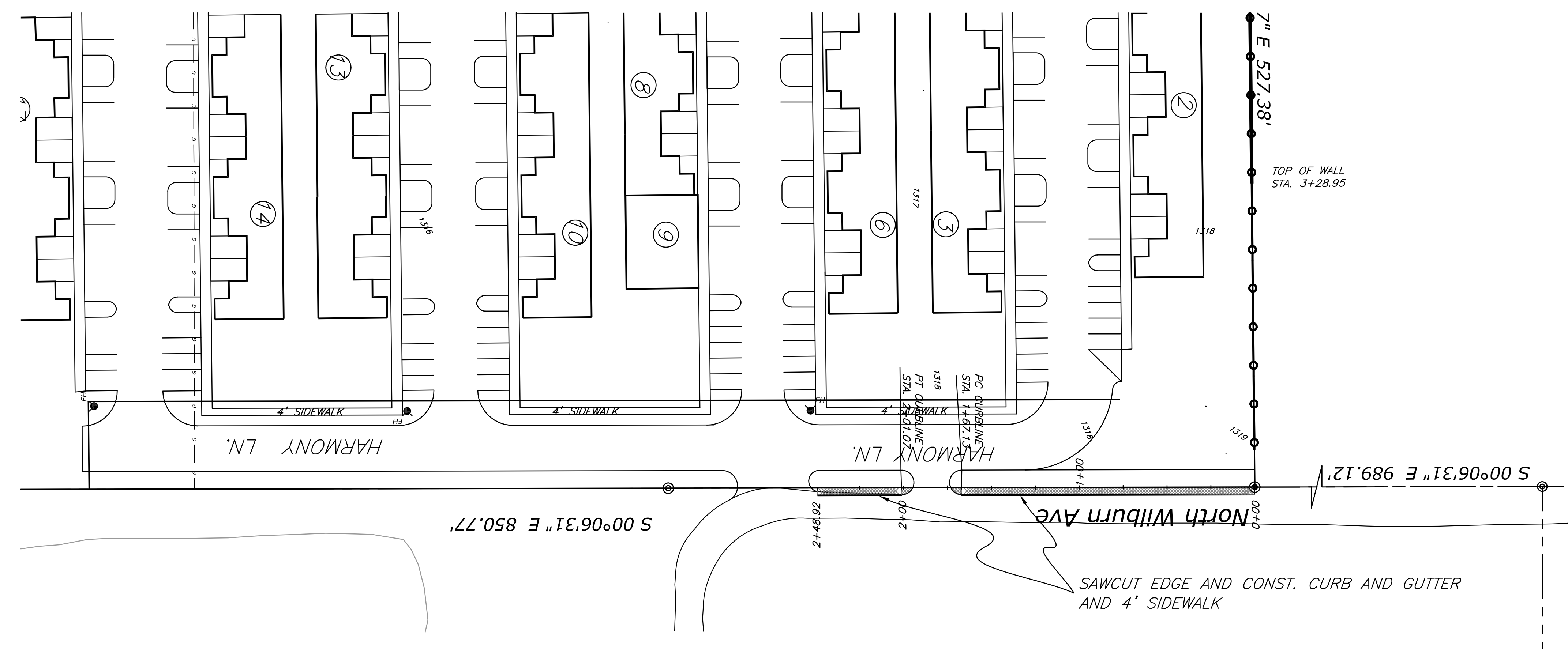
HORIZONTAL: 1"=50' VERTICAL: 1"=10'

SHEET NO. 11 OF 16

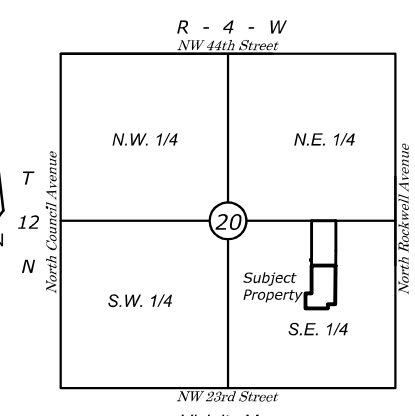


- NOTES:
- 3/4" x 4" preformed expansion material around Power Poles or other structures in walk.
  - Expansion Joints maximum distance = 100'; use 3/4" x 4" preformed expansion material.
  - Contraction Joints maximum distance = 7'; saw cut 1 1/2" deep and fill with hot poured sealer.
  - Saw cut joints within 24 hours.
  - Use 3/4" x 4" preformed expansion joint at curb.

DETAILS FOR SIDEWALK LOCATED AT CURB FOR LOCAL STREET



WILBURN RD.



LOCATION MAP  
1:2000

LEGEND

- SS SANITARY SEWER LINE
- W WATER LINE
- OHE OVERHEAD ELECTRIC
- EGS EXISTING GAS SERVICE
- SM SANITARY SEWER MANHOLE
- SMW STORM SEWER MANHOLE
- PP POWER POLE
- GA GUY ANCHOR
- LP LIGHT POLE
- FH FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- GV GAS VALVE
- GM GAS METER
- EM ELECTRIC METER
- TEP TELEPHONE PEDESTAL
- MW MONITOR WELL
- SIGN SIGN
- TSP TRAFFIC SIGNAL POLE
- TSB TRAFFIC SIGNAL BOX
- FENCE FENCE
- SIP SET IRON PIN
- FIP FOUND IRON PIN
- BENCHMARK BENCHMARK

DETENTION PLAN

TO SERVE

HARMONY GROVES

BEING A PART OF THE SE/4, SEC. 20, T.12N, R.4W, IM  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX



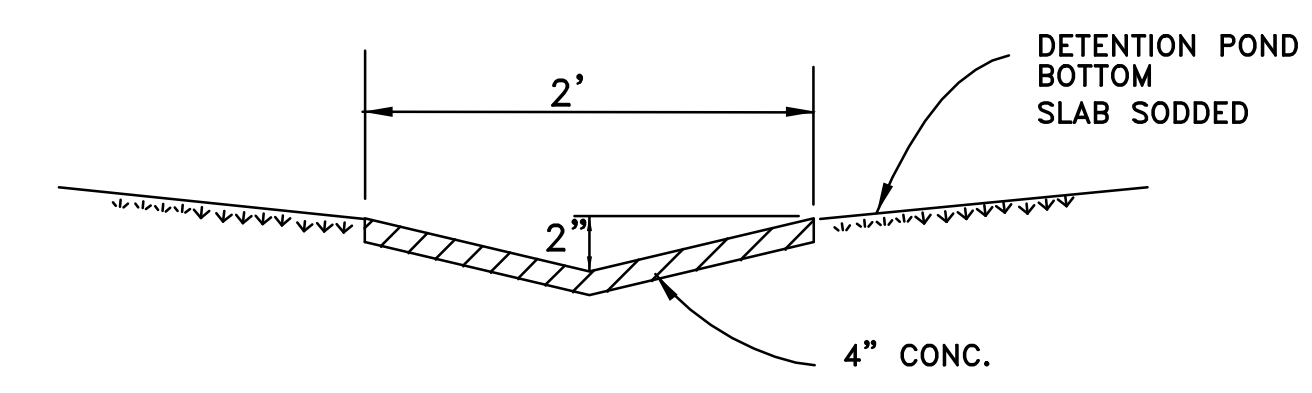
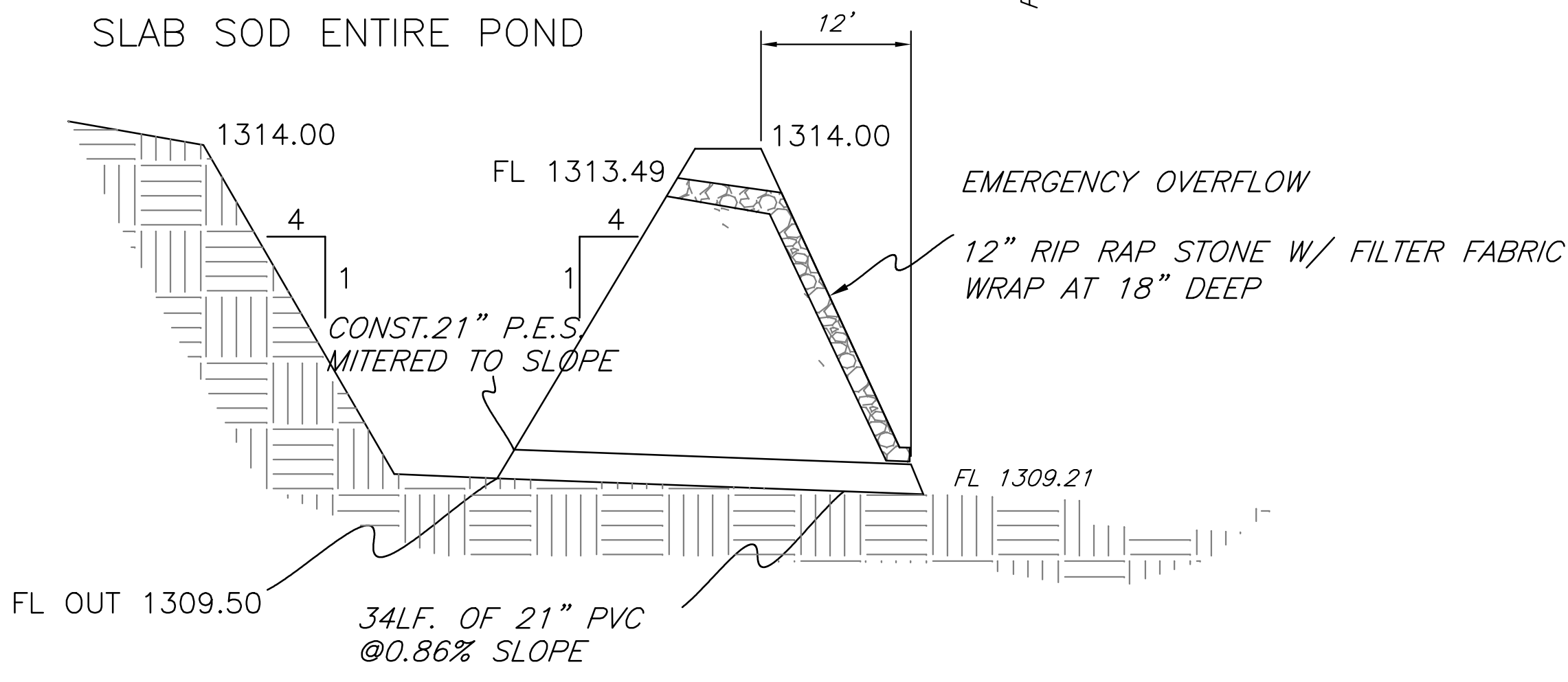
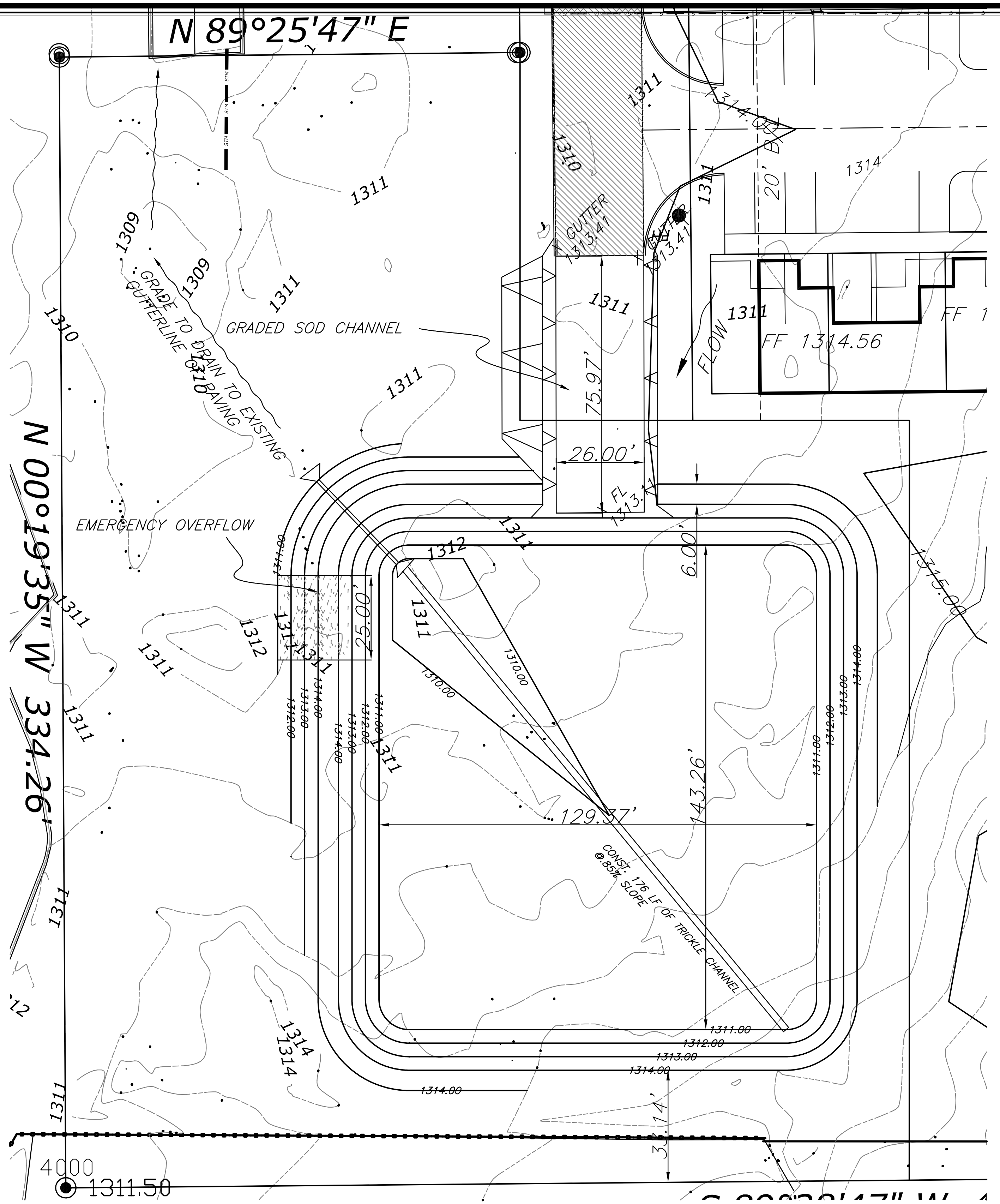
DATE 10-24-23

SIGNATURE *[Signature]*

DETENTION PLAN TO SERVE HARMONY GROVES

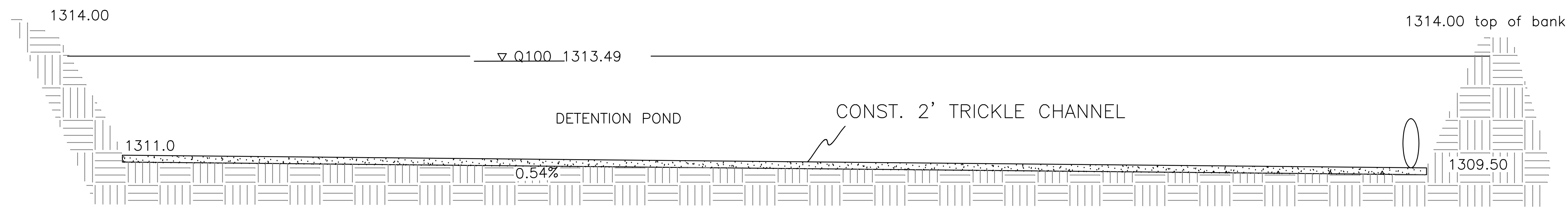
HORIZONTAL: 1"=10' VERTICAL: 1"=10'

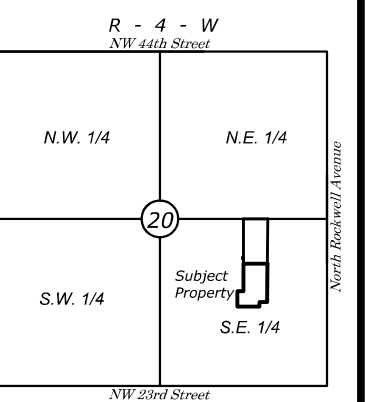
SHEET NO. 1 OF 1



CONCRETE TRICKLE CHANNEL

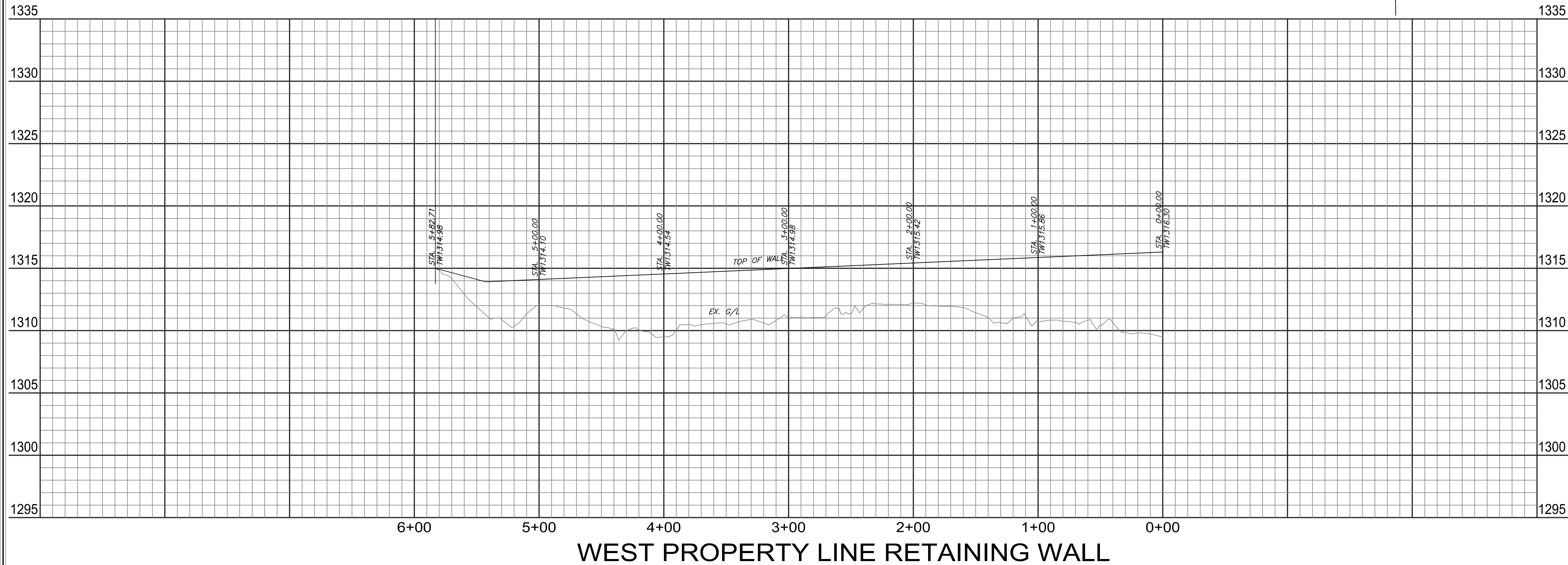
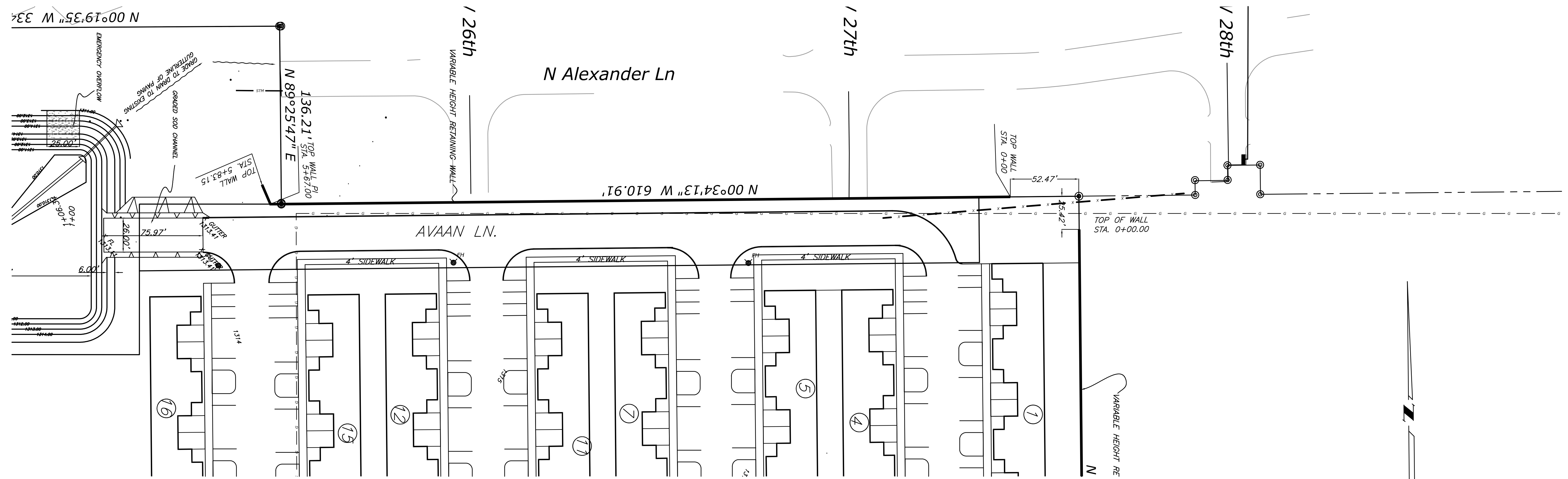
N.T.S.





LOCATION MAP  
1"=500'

- LEGEND
- SS SANITARY SEWER LINE
  - W WATER LINE
  - OHE OVERHEAD ELECTRIC
  - EGS EXISTING GAS SERVICE
  - SM SANITARY SEWER MANHOLE
  - SSM STORM SEWER MANHOLE
  - PP POWER POLE
  - GA GUY ANCHOR
  - LP LIGHT POLE
  - FH FIRE HYDRANT
  - WV WATER VALVE
  - WM WATER METER
  - GV GAS VALVE
  - GM GAS METER
  - EM ELECTRIC METER
  - TEP TELEPHONE PEDESTAL
  - MW MONITOR WELL
  - SIGN SIGN
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - FENCE FENCE
  - SIP SET IRON PIN
  - FIP FOUND IRON PIN
  - BENCHMARK BENCHMARK



WEST PROPERTY LINE RETAINING WALL

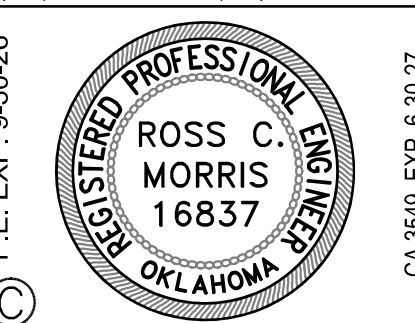
RETAINING WALL PLAN

HARMONY GROVES

TO SERVE  
BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, IM  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



www.rmorriseengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX

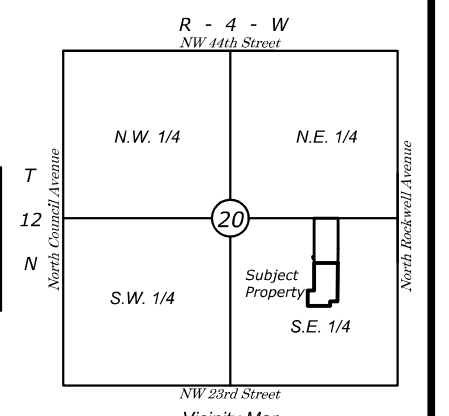


DATE 5-29-26

SIGNATURE *[Signature]*

RETAINING WALL PLAN TO SERVE HARMONY GROVES

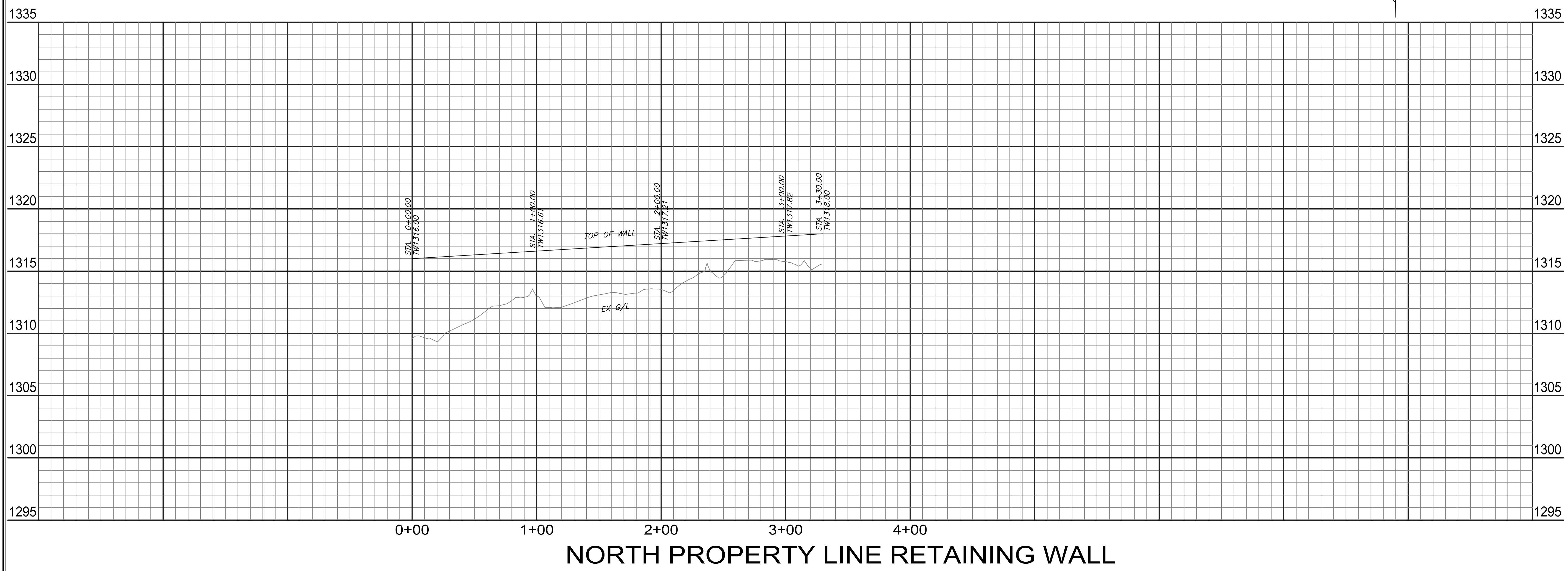
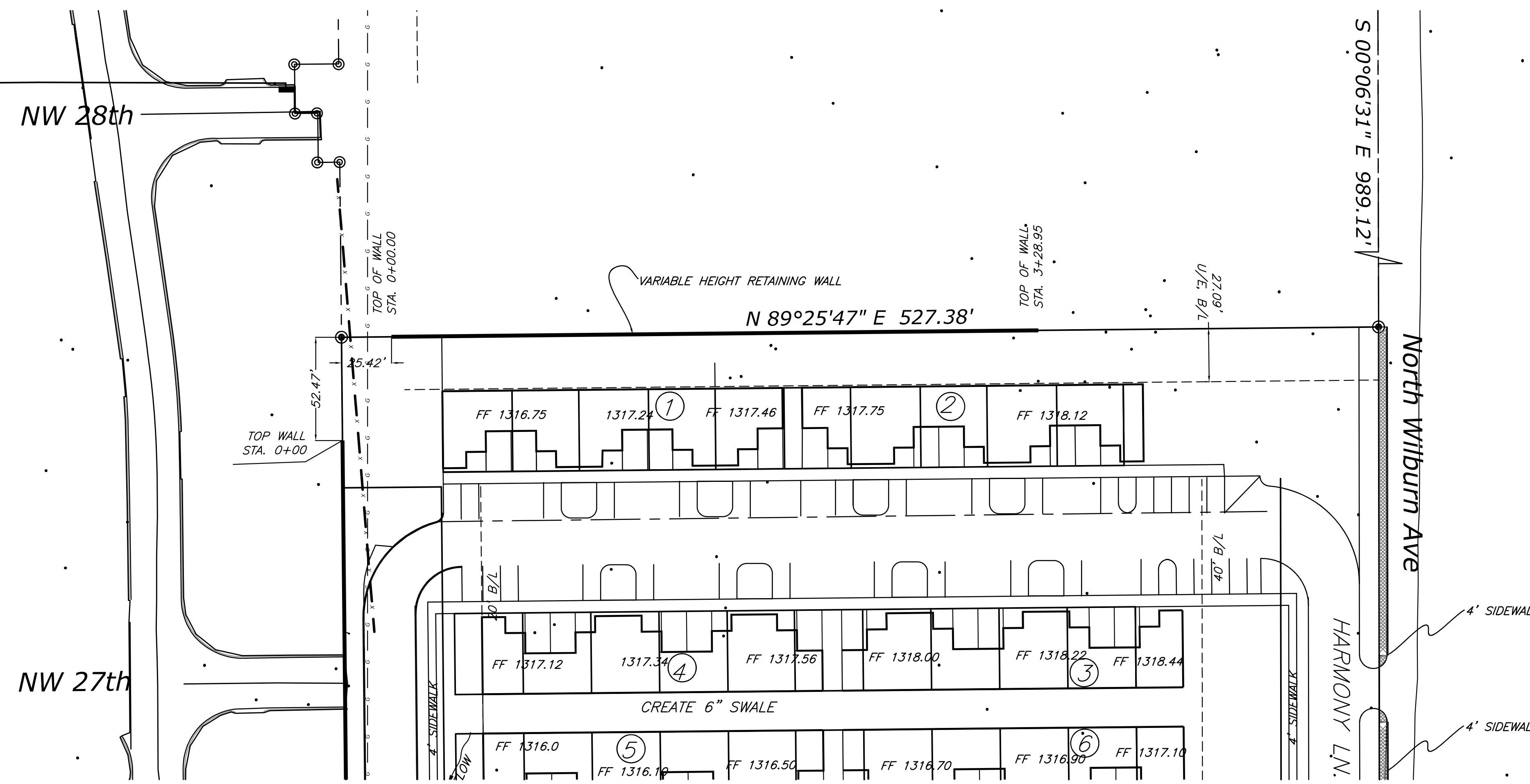
HORIZONTAL: 1"=50' VERTICAL: 1"=5'



LOCATION MAP

LEGEND

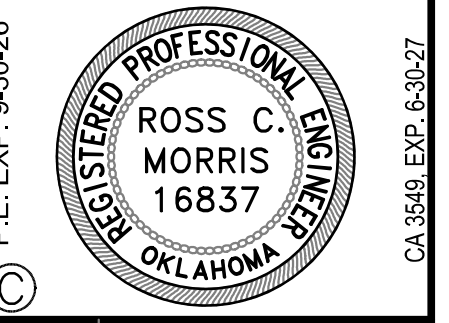
- SS SANITARY SEWER LINE
- W WATER LINE
- OHE OVERHEAD ELECTRIC
- EGS EXISTING GAS SERVICE
- SM SANITARY SEWER MANHOLE
- SSM STORM SEWER MANHOLE
- PP POWER POLE
- GA GUY ANCHOR
- LP LIGHT POLE
- FR FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- GV GAS VALVE
- GM GAS METER
- EM ELECTRIC METER
- TEP TELEPHONE PEDESTAL
- MW MONITOR WELL
- SIGN SIGN
- TSP TRAFFIC SIGNAL POLE
- TSB TRAFFIC SIGNAL BOX
- FENCE FENCE
- SIP SET IRON PIN
- FIP FOUND IRON PIN
- BENCHMARK BENCHMARK



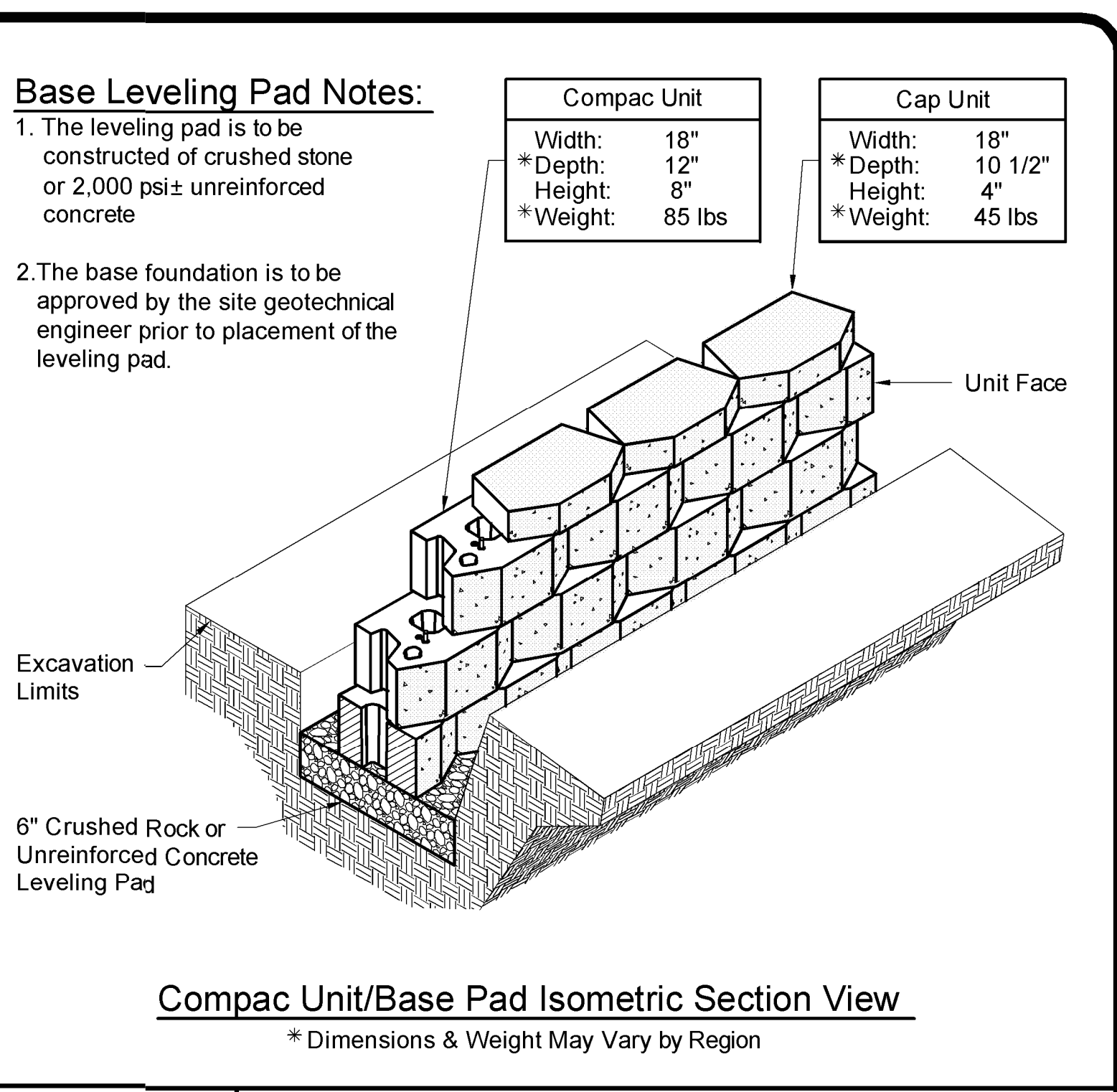
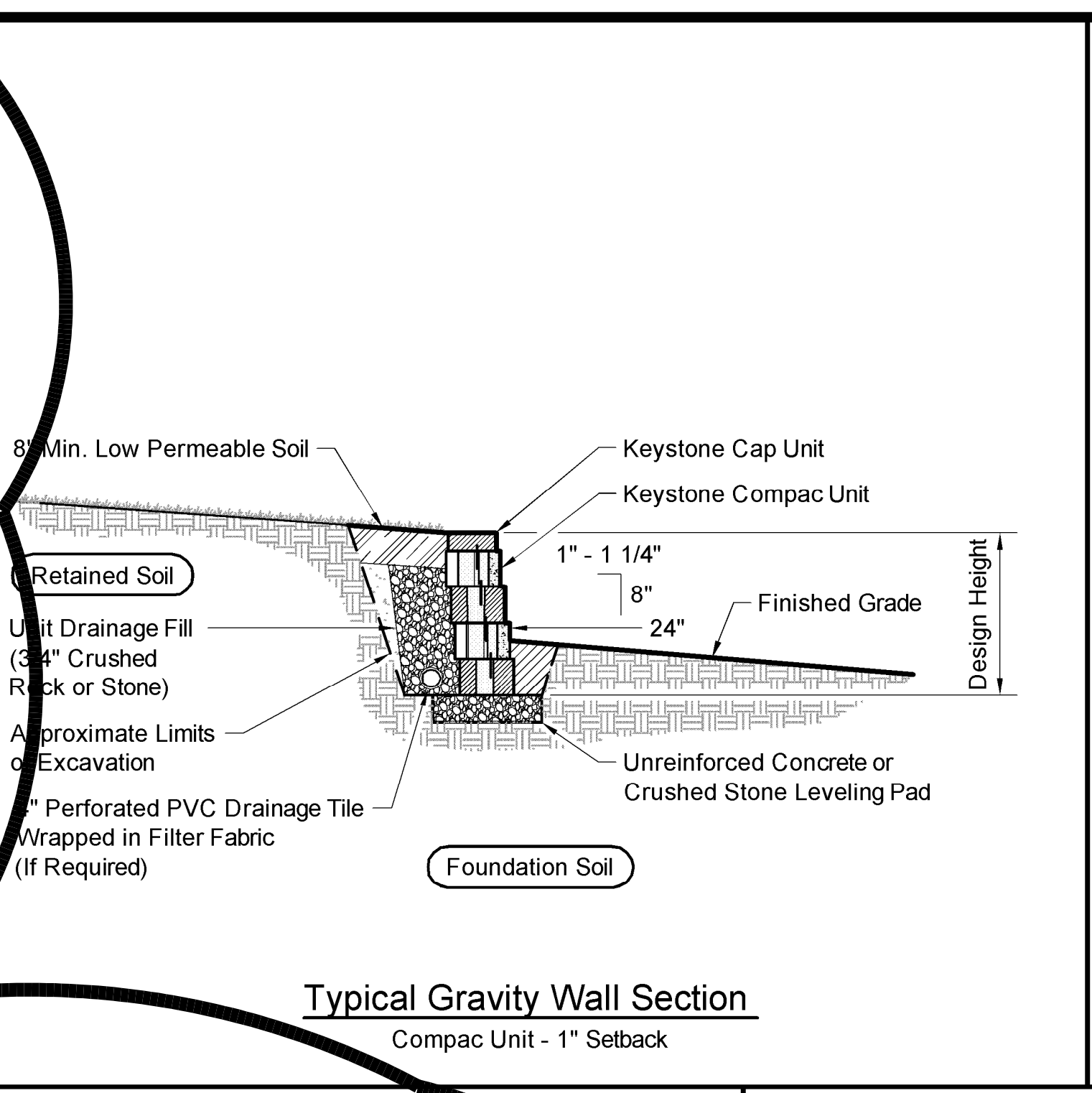
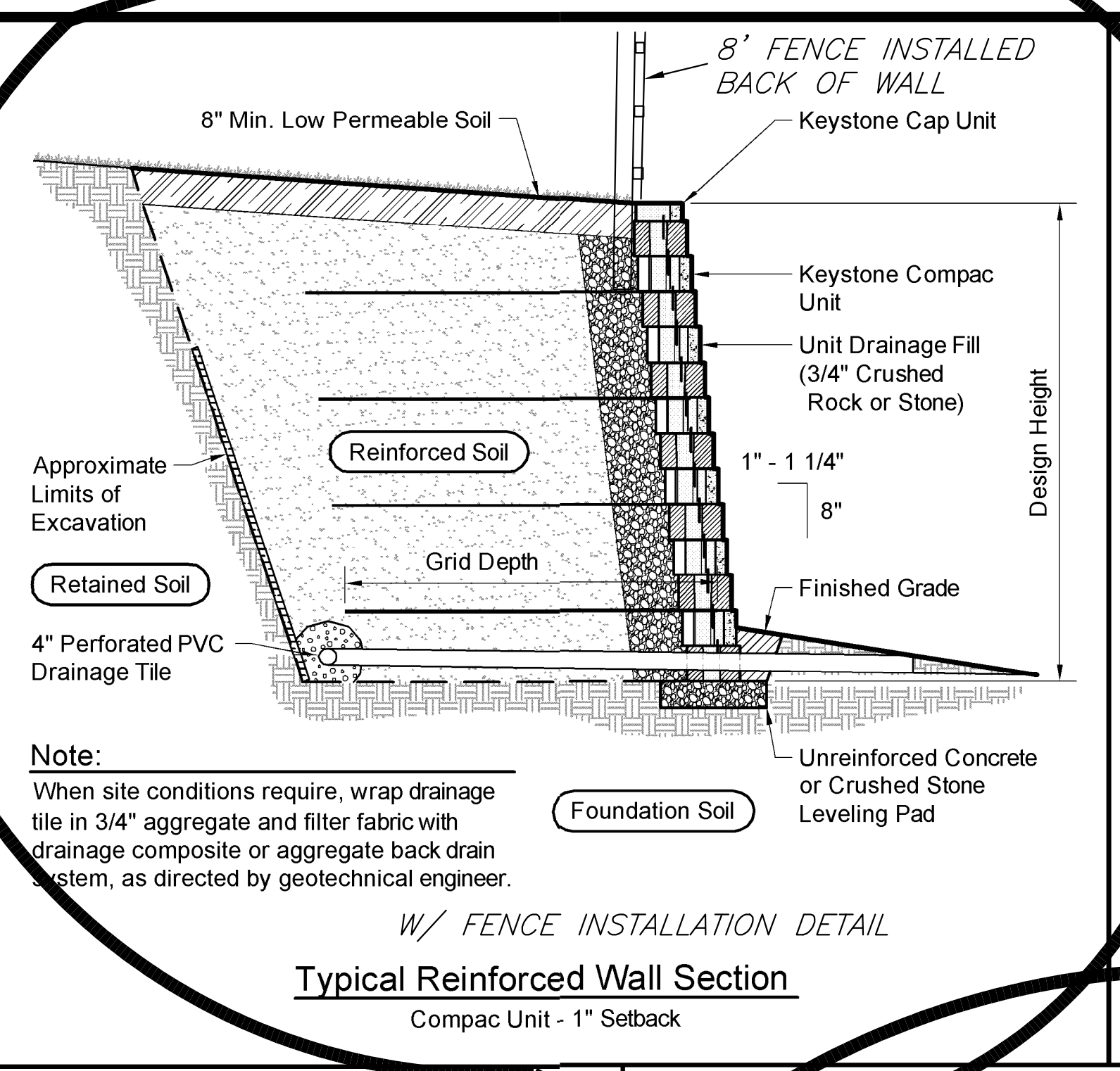
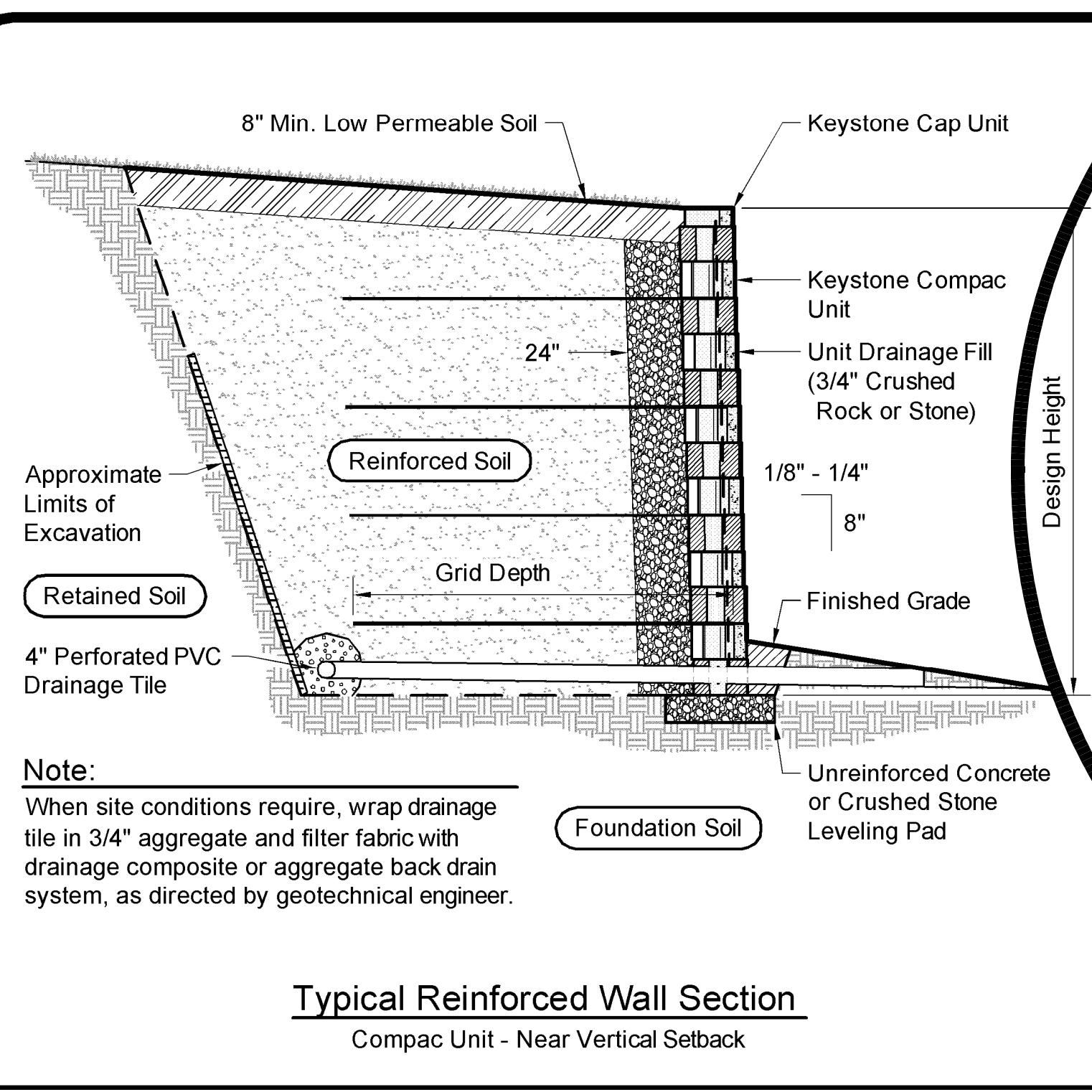
NORTH PROPERTY LINE RETAINING WALL

RETAINING WALL PLAN  
TO SERVE  
**HARMONY GROVES**  
BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, IM  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

**MORRIS**  
ENGINEERING AND SURVEYING  
www.morrisengineering.com  
617 N.W. 27TH ST. MOORE, OK 73160  
(405) 912-2775 OFC (405) 912-2322 FAX



DATE: 5-29-26  
SIGNATURE: [Signature]  
RETAINING WALL PLAN TO SERVE HARMONY GROVES  
HORIZONTAL: 1"=50' VERTICAL: 1"=10'  
JOB NO. REF. NO. REF. NO.  
SHEET NO. 11 OF 16



**Base Leveling Pad Notes:**

- The leveling pad is to be constructed of crushed stone or 2,000 psi± unreinforced concrete.
- The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

Compac Unit		Cap Unit	
Width:	18"	Width:	18"
*Depth:	12"	*Depth:	10 1/2"
Height:	8"	Height:	4"
*Weight:	85 lbs	*Weight:	45 lbs

**Note:**  
When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

**Note:**  
When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

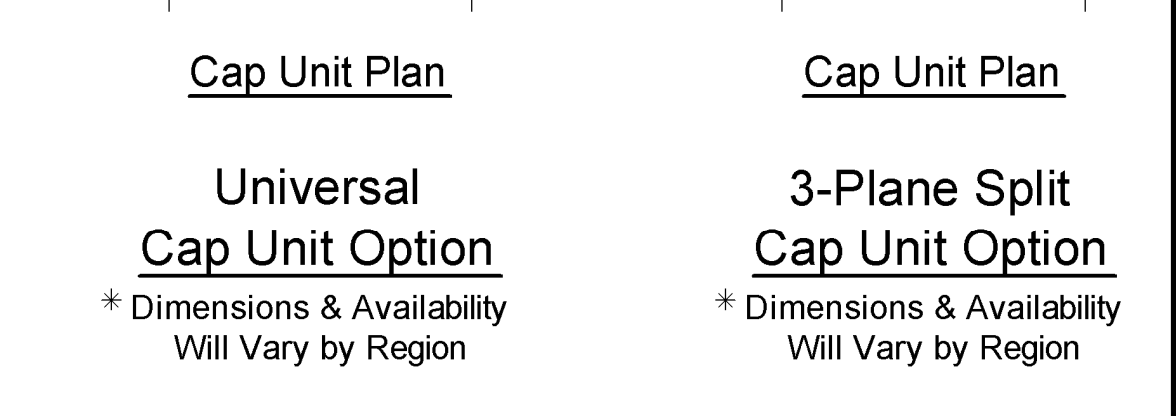
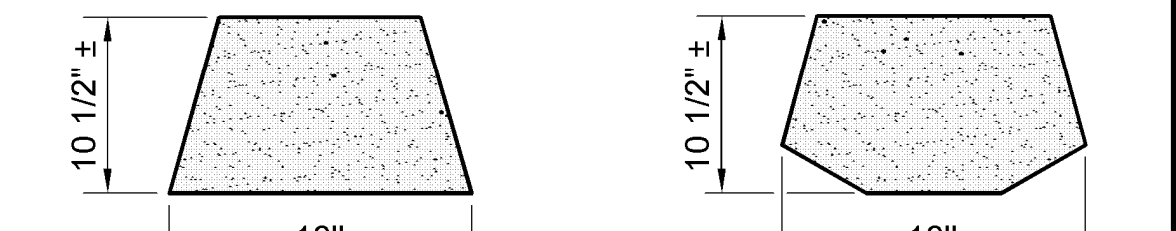
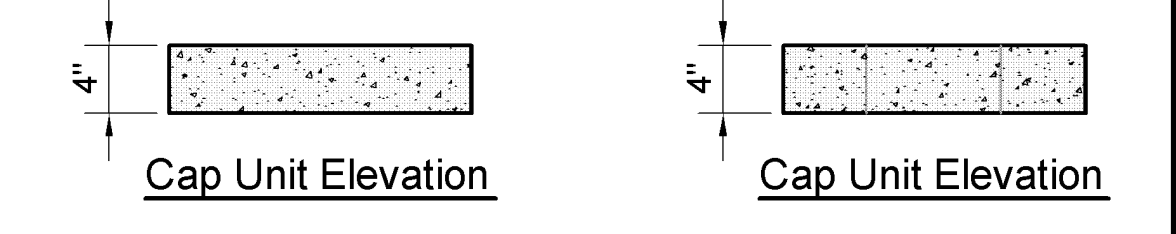
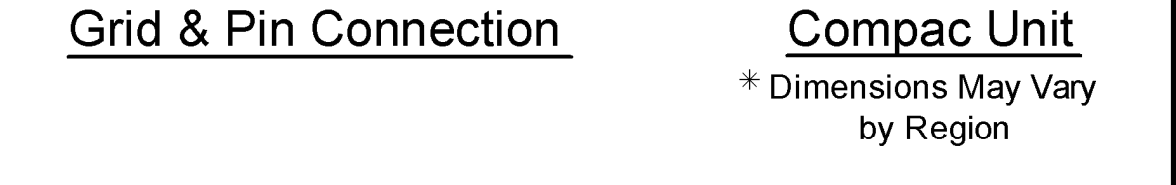
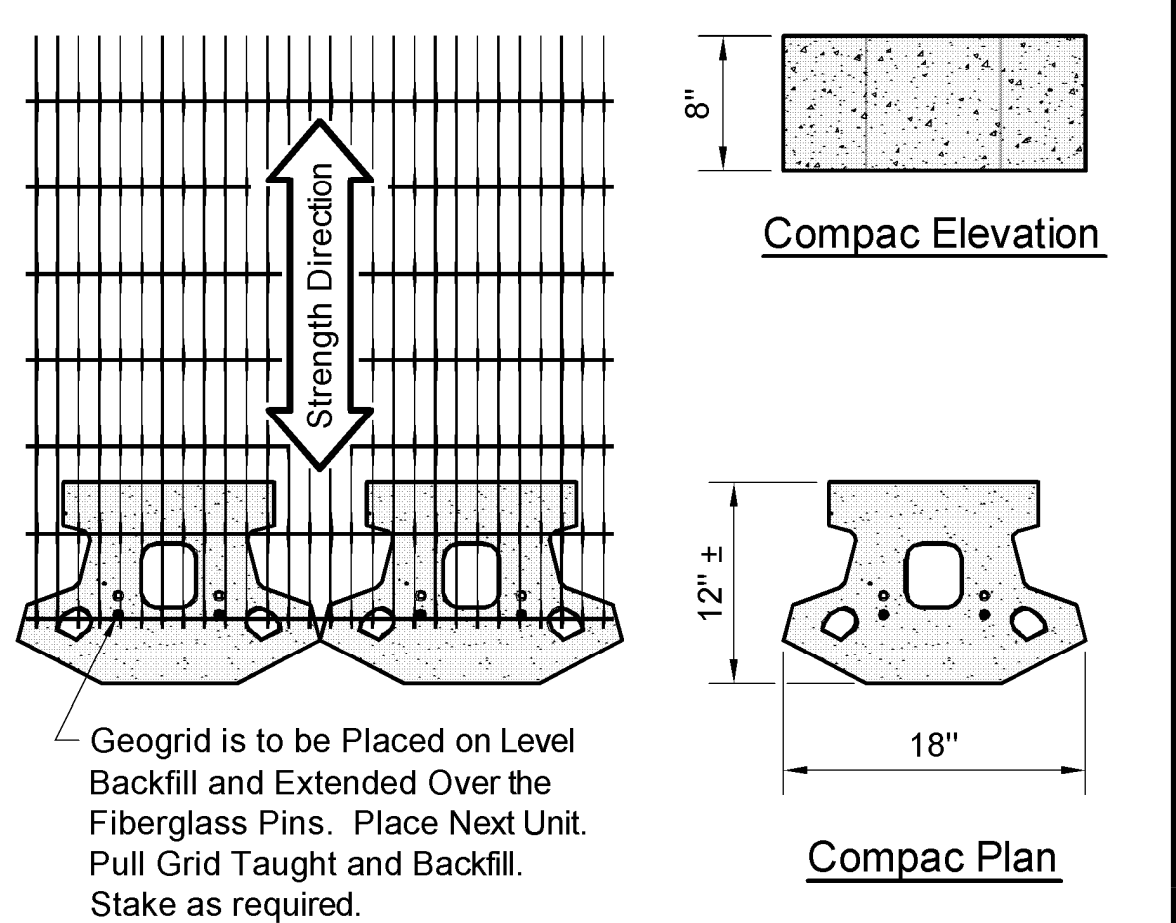
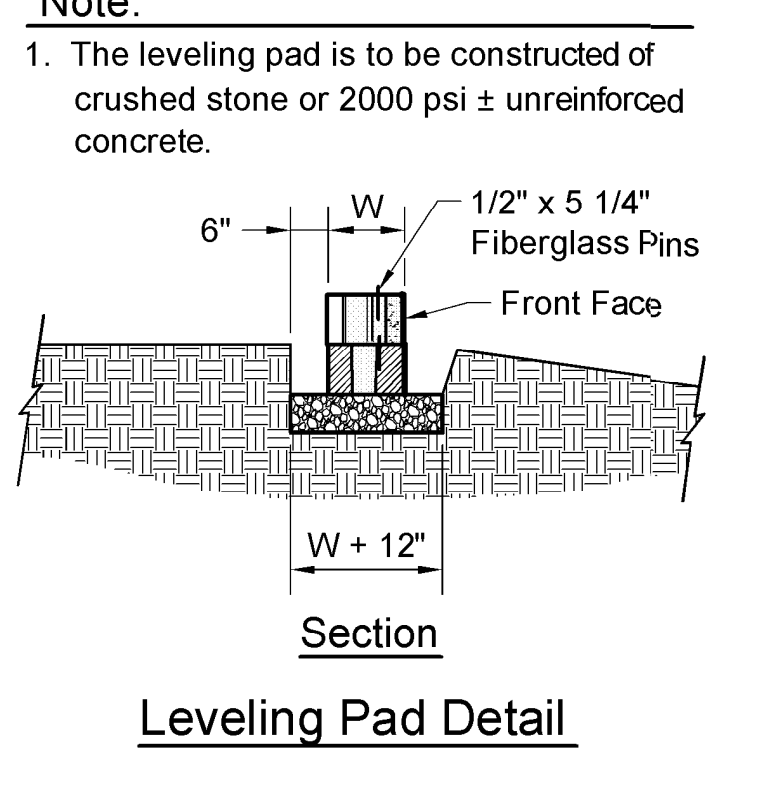
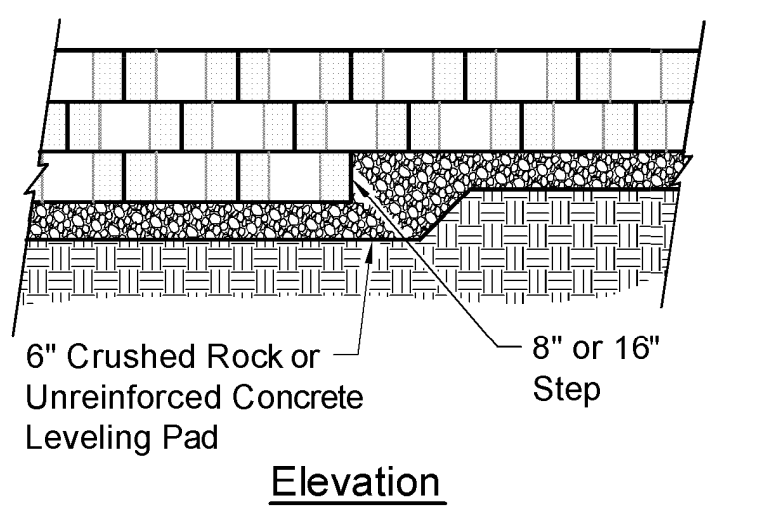
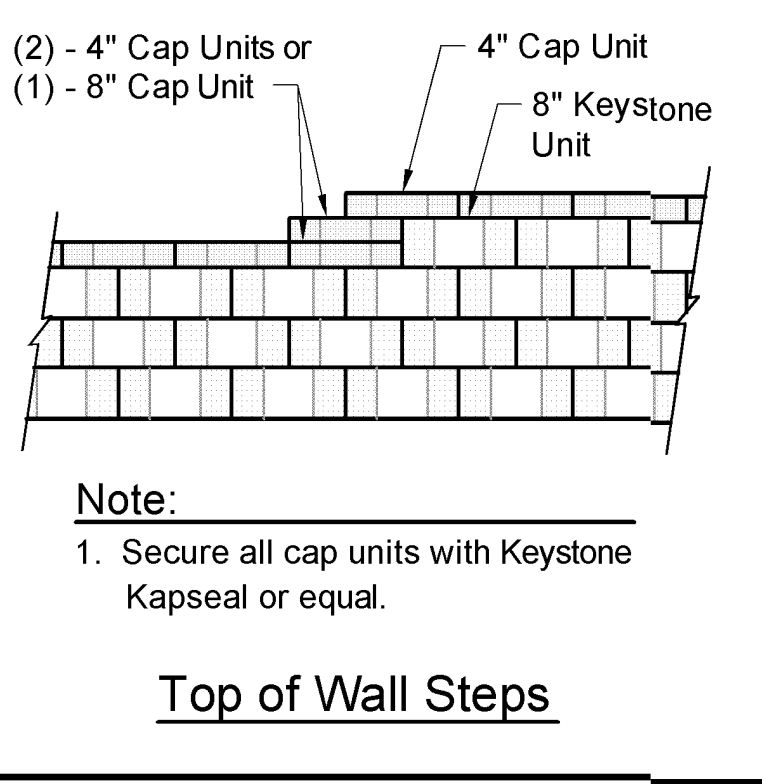
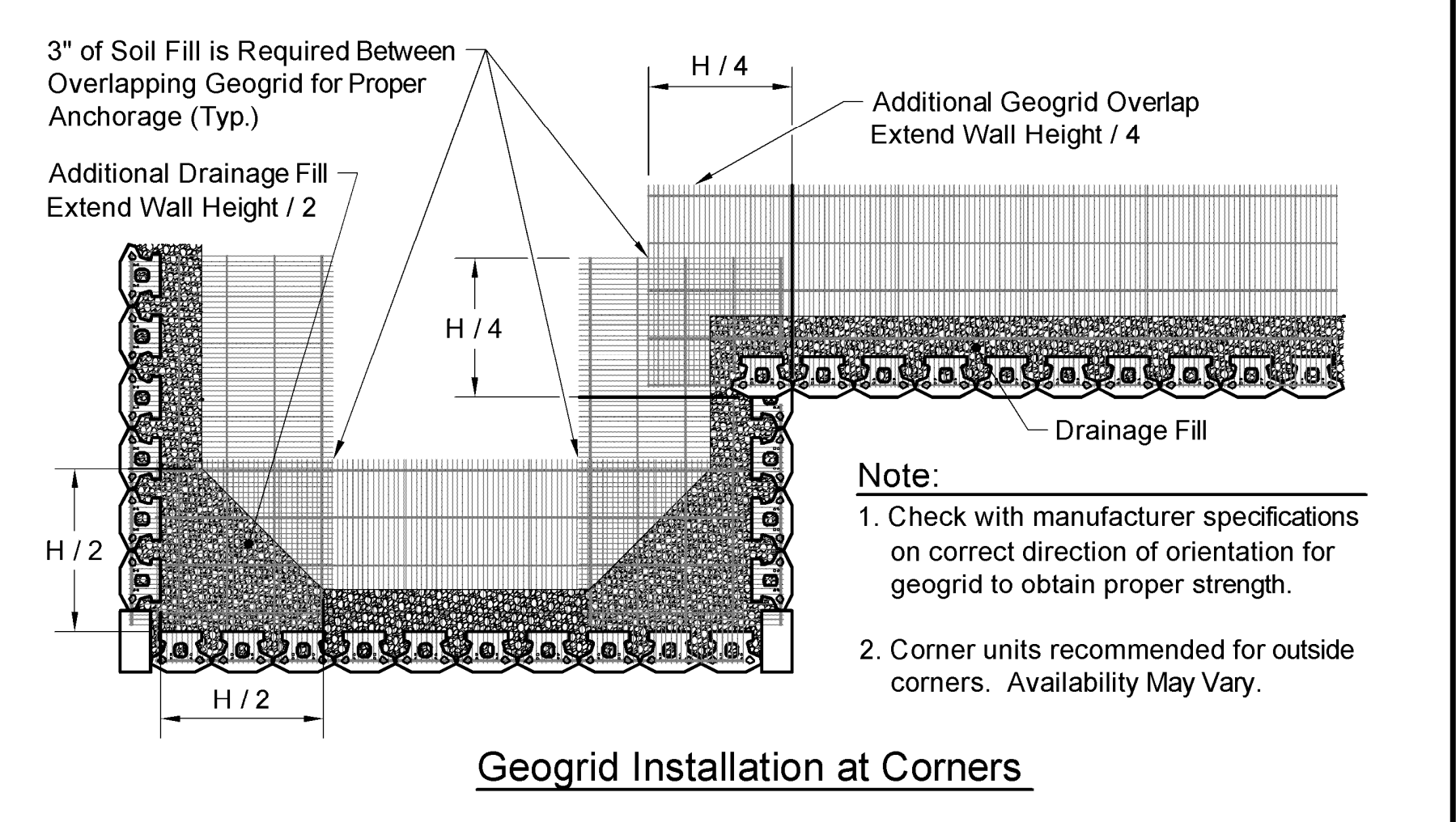
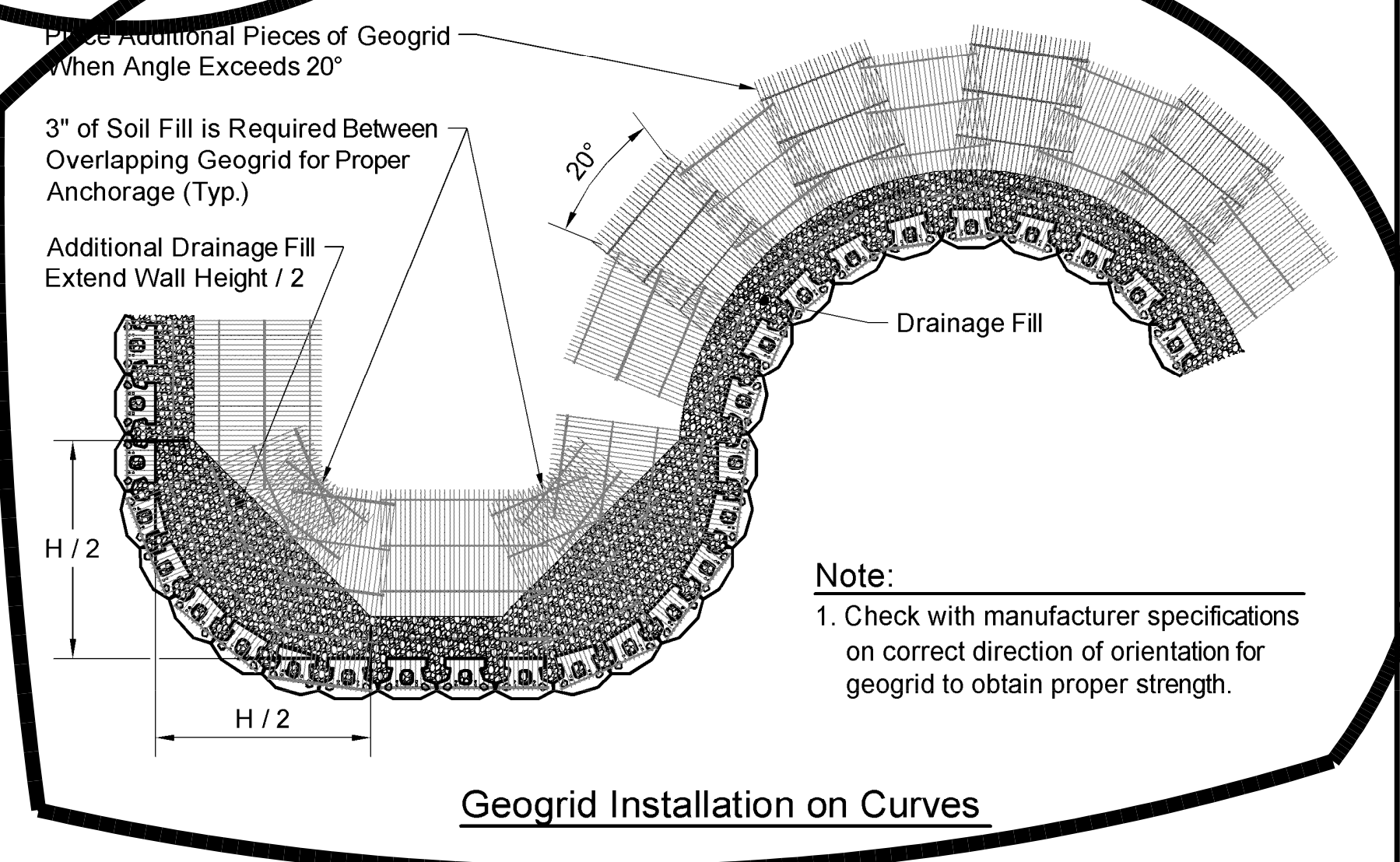
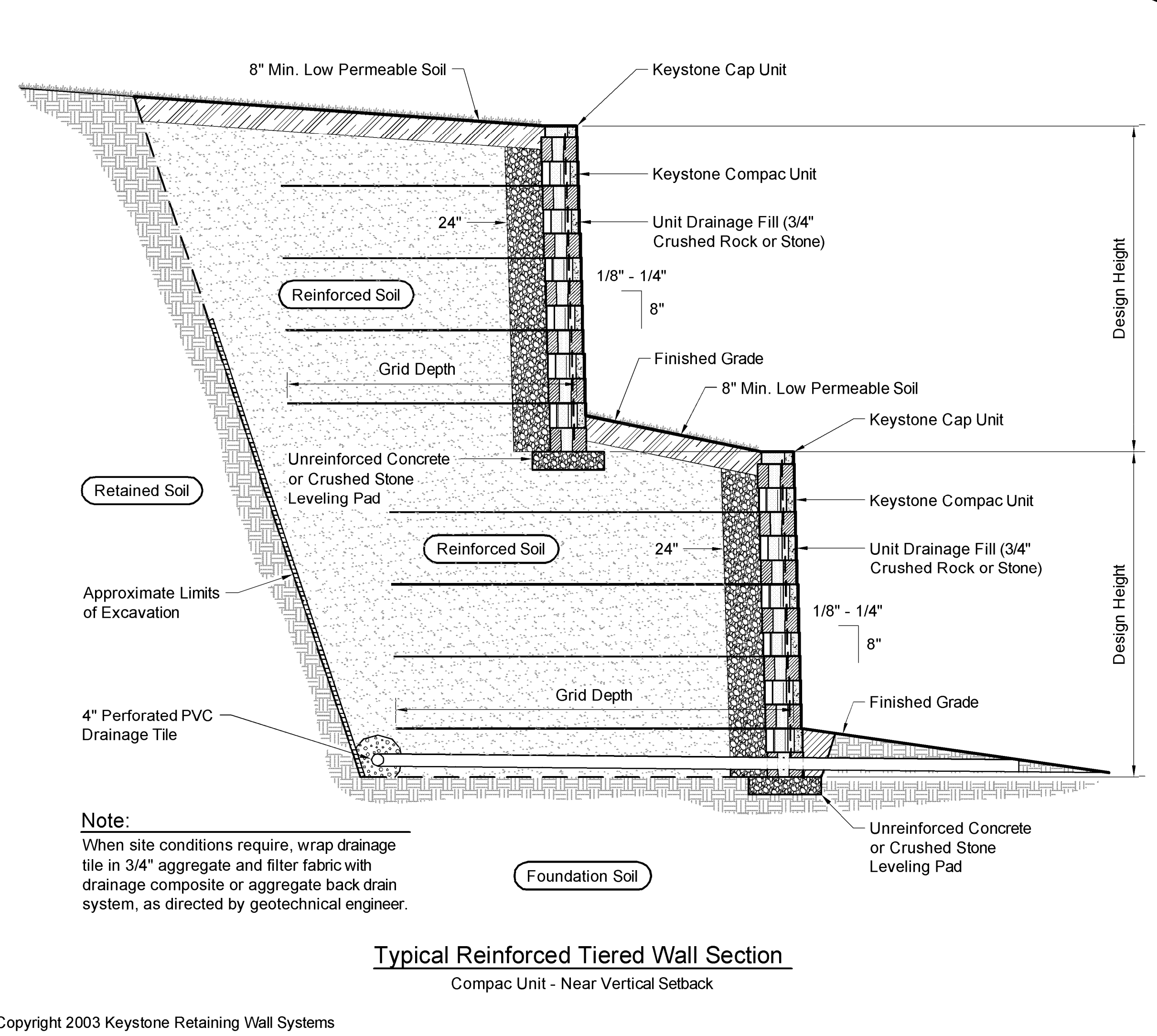
**Note:**  
When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

**Typical Reinforced Wall Section**  
Compac Unit - Near Vertical Setback

**Typical Reinforced Wall Section**  
Compac Unit - 1" Setback

**Typical Gravity Wall Section**  
Compac Unit - 1" Setback

**Compac Unit/Base Pad Isometric Section View**  
\* Dimensions & Weight May Vary by Region



Copyright 2003 Keystone Retaining Wall Systems

Design is for internal stability of the KEYSTONE wall structure only. External stability, including but not limited to foundation and slope stability is the responsibility of the Owner. The design is based on the assumption that the materials within the retained mass, methods of construction, and quality of materials conform to KEYSTONE's specification for this project.

This drawing is being furnished for this specific project only. Any party accepting this document does so in confidence and agrees that it shall not be duplicated in whole or in part, nor disclosed to others without the consent of Keystone Retaining Wall Systems, Inc.

No.	Date	Revision	By

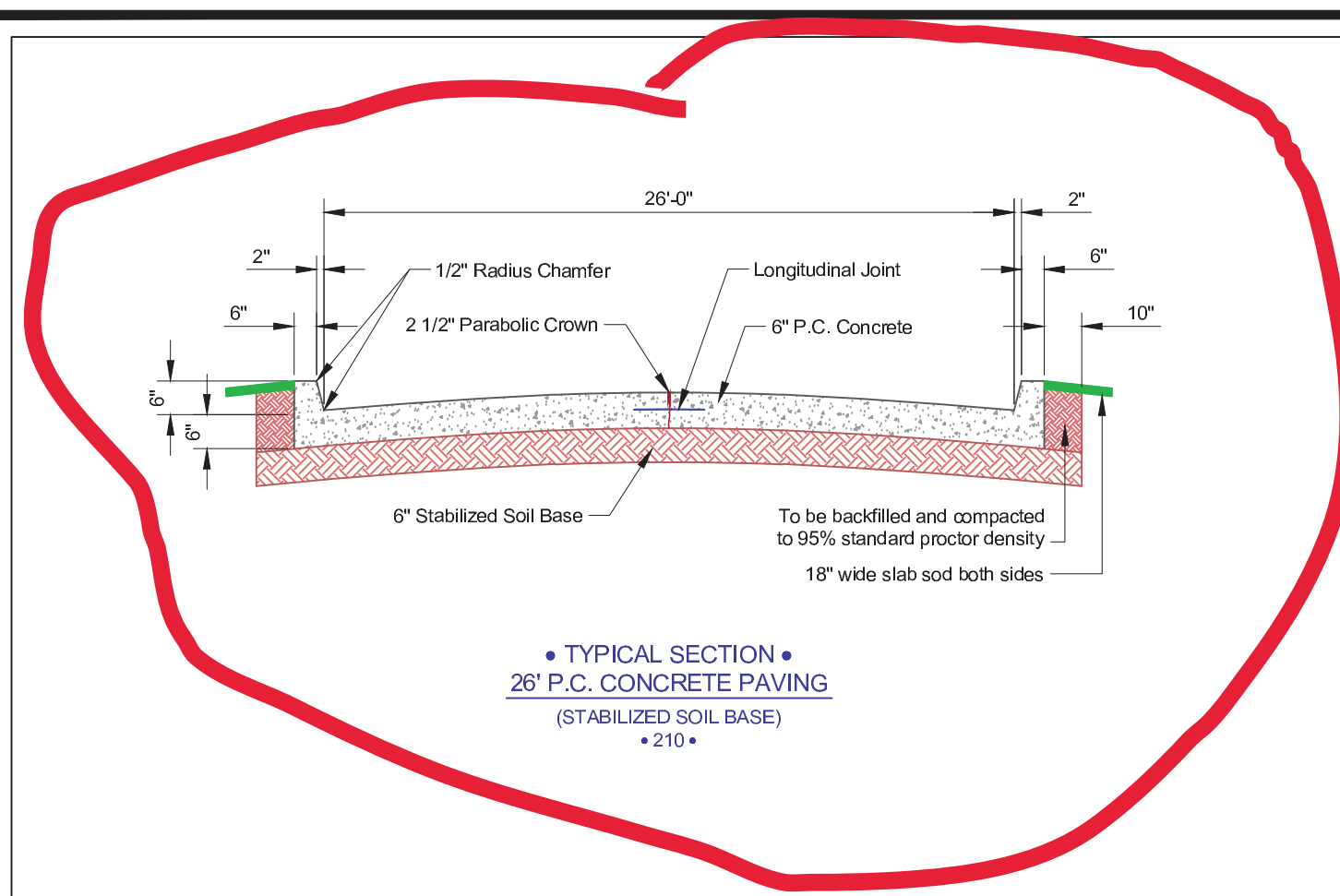


GEOGRID SHALL MEAN "STRATA" GRID MATERIAL SGU60. W ULTIMATE STRENGTH OF 3650 FT/LBS. SPACED AT 2' VERTICALLY AT A LENGTH OF EQUAL TO DEPTH. OR APPROVED EQUAL.

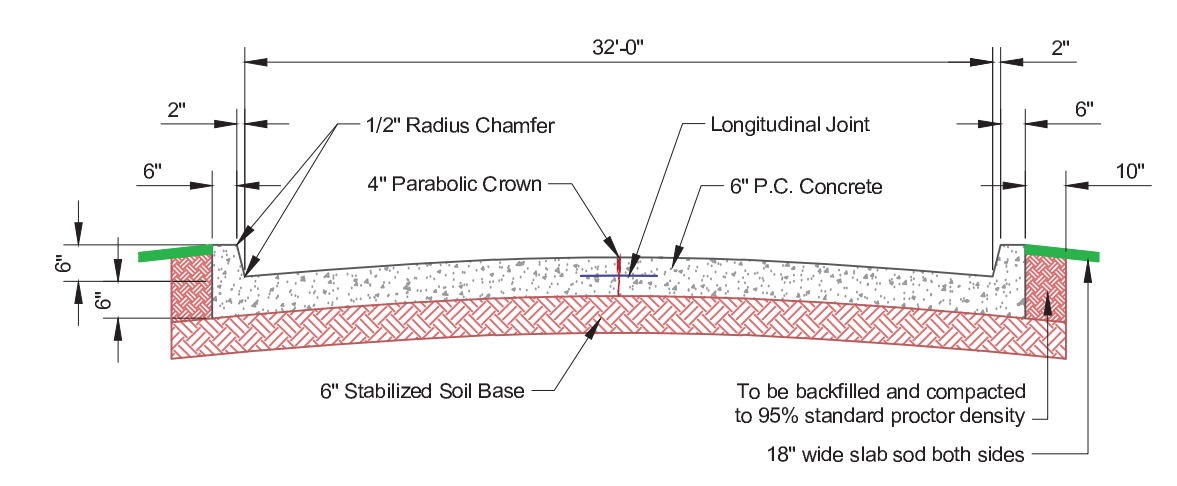
Designed By: RKM	Title: Compac Unit - Tri Plane Face Details	Date:
Checked By: CDM	Project: Keystone Retaining Wall Systems Typical Wall Details	Project No:
Scale: No Scale		Drawing No:



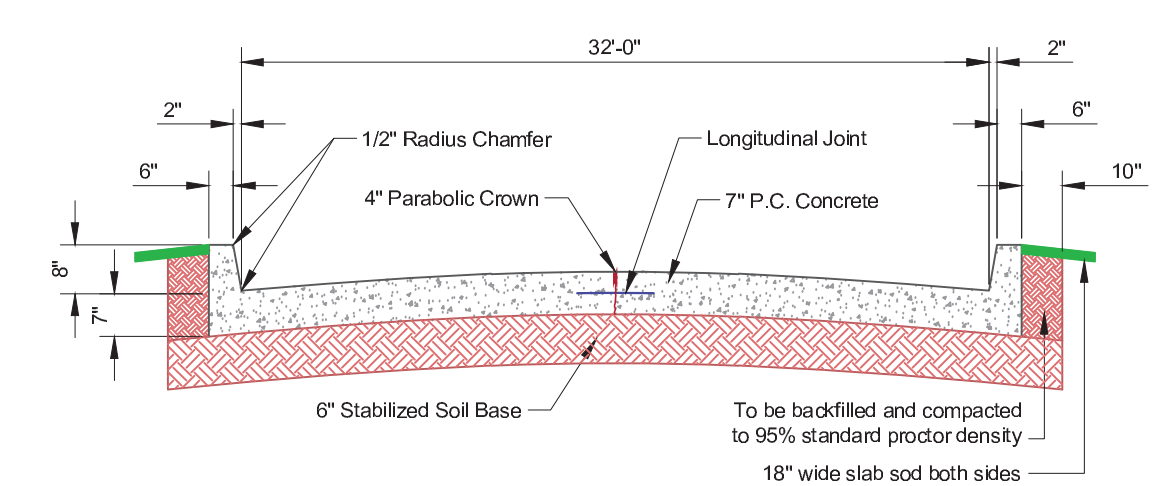




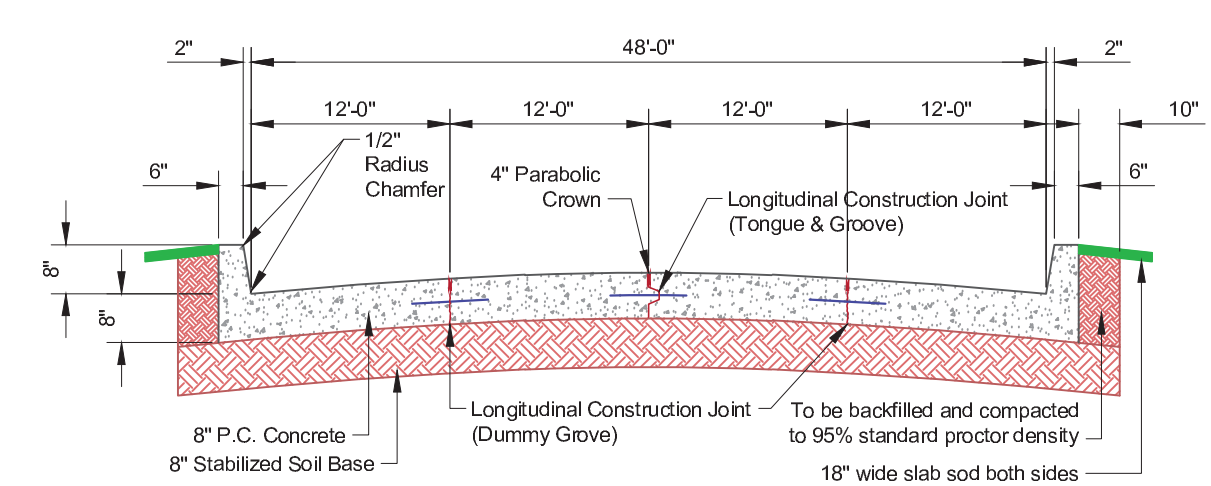
• TYPICAL SECTION •  
**26' P.C. CONCRETE PAVING**  
 (STABILIZED SOIL BASE)  
 • 210 •



• TYPICAL SECTION •  
**32' P.C. CONCRETE PAVING**  
 (STABILIZED SOIL BASE)  
 RESIDENTIAL COLLECTOR STREET  
 • 212 •



• TYPICAL SECTION •  
**32' P.C. CONCRETE PAVING**  
 (STABILIZED SOIL BASE)  
 INDUSTRIAL ADDITIONS  
 • 214 •

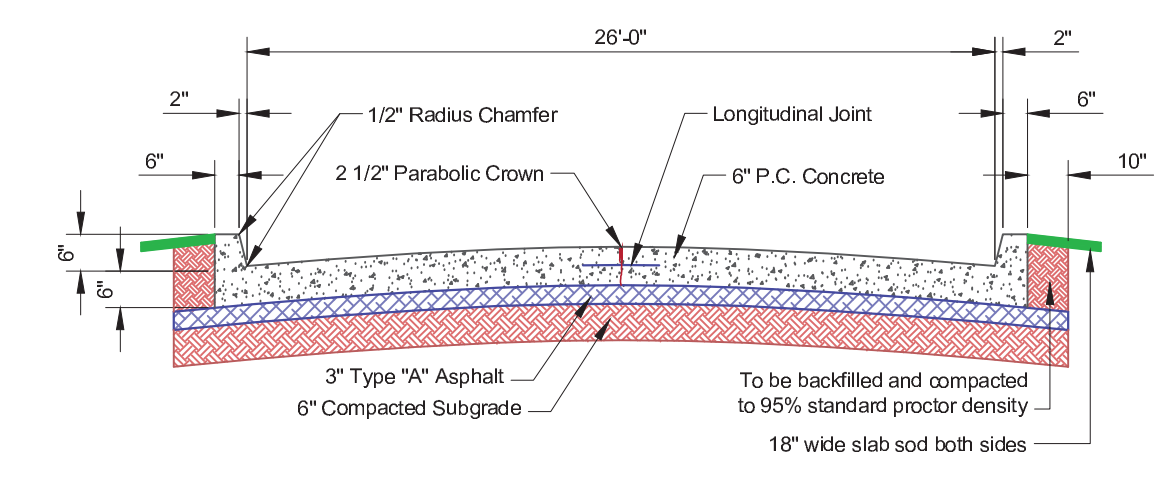


• TYPICAL SECTION •  
**48' P.C. CONCRETE PAVING**  
 (STABILIZED SOIL BASE)  
 • 216 •

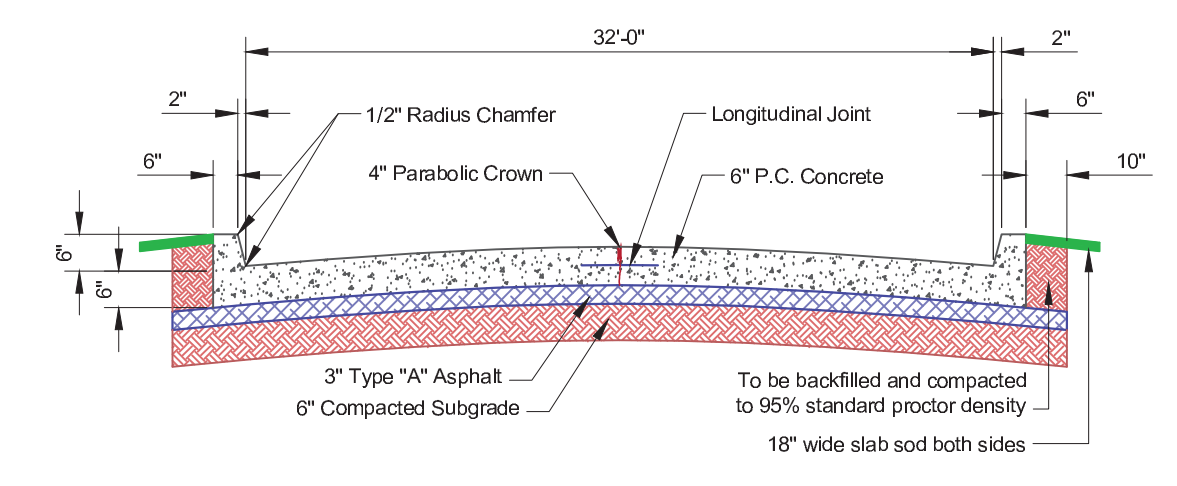
APPROVED BY: DATE: 02-04-13  
 ERIC J. WENGER, P.E.  
 CITY ENGINEER

DRAWN: VSC  
 DATE: 02-04-13

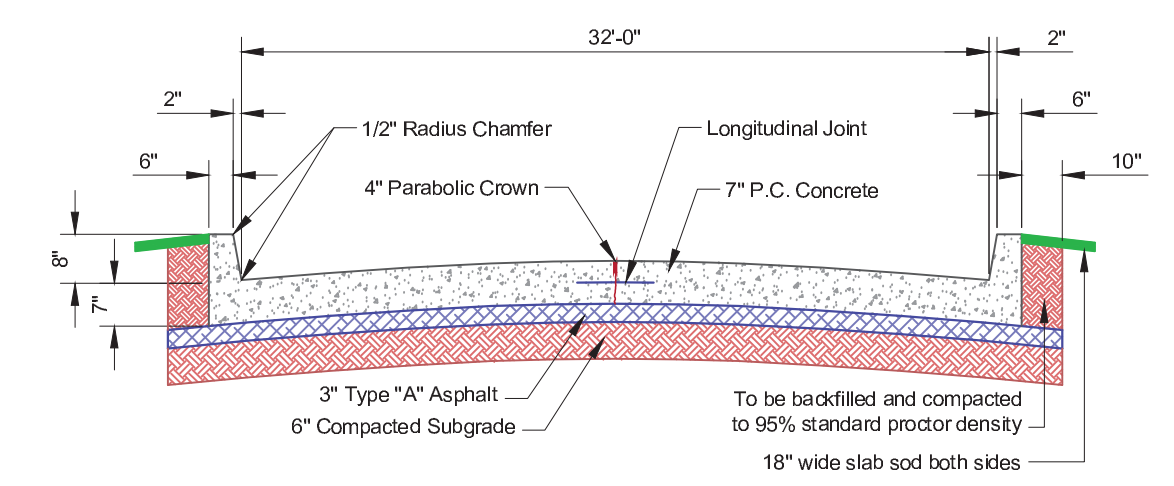
**STANDARD TYPICAL SECTIONS  
 P.C. CONCRETE PAVING**



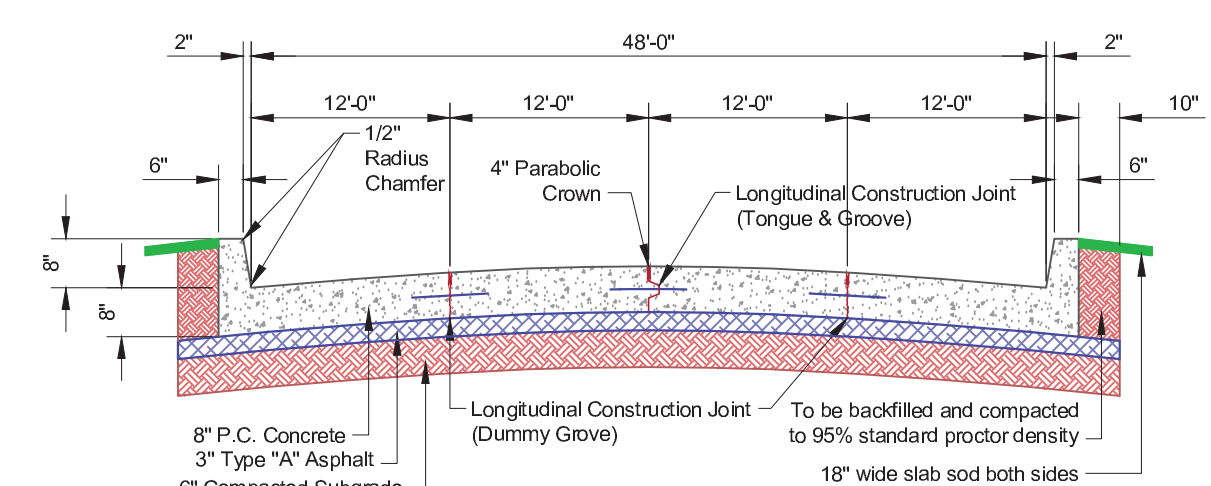
• TYPICAL SECTION •  
**26' P.C. CONCRETE PAVING**  
 (ASPHALT BASE)  
 • 220 •



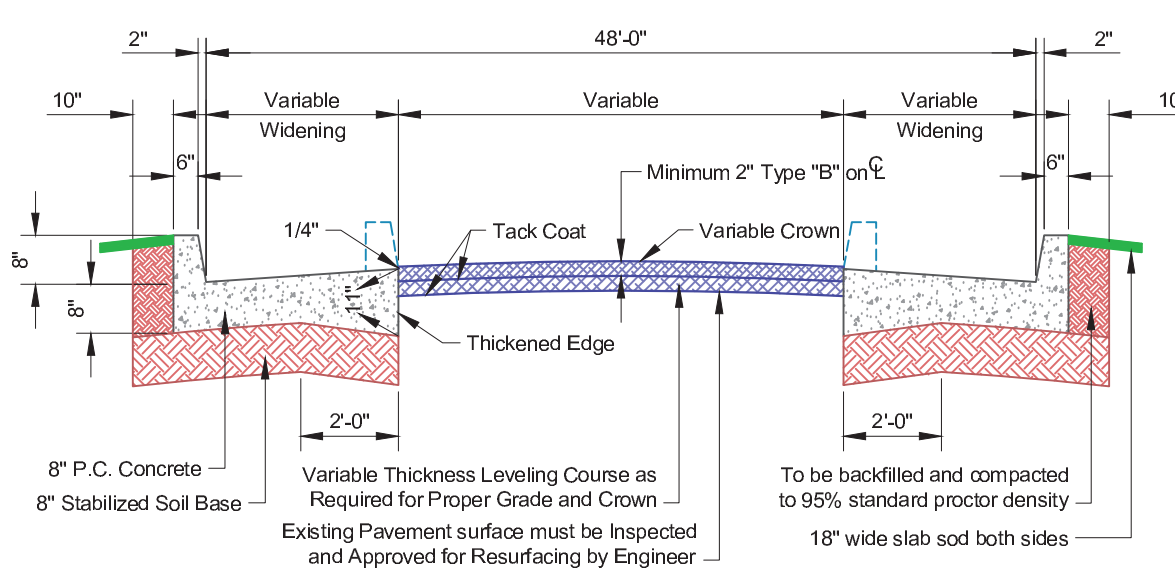
• TYPICAL SECTION •  
**32' P.C. CONCRETE PAVING**  
 (ASPHALT BASE)  
 RESIDENTIAL COLLECTOR STREET  
 • 222 •



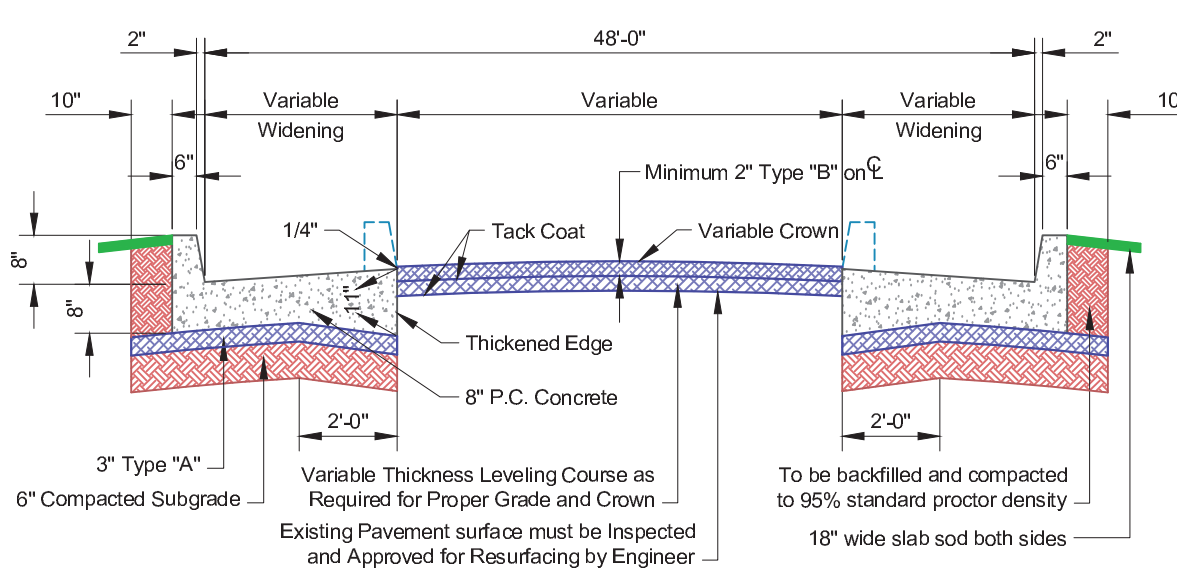
• TYPICAL SECTION •  
**32' P.C. CONCRETE PAVING**  
 (ASPHALT BASE)  
 INDUSTRIAL ADDITIONS  
 • 224 •



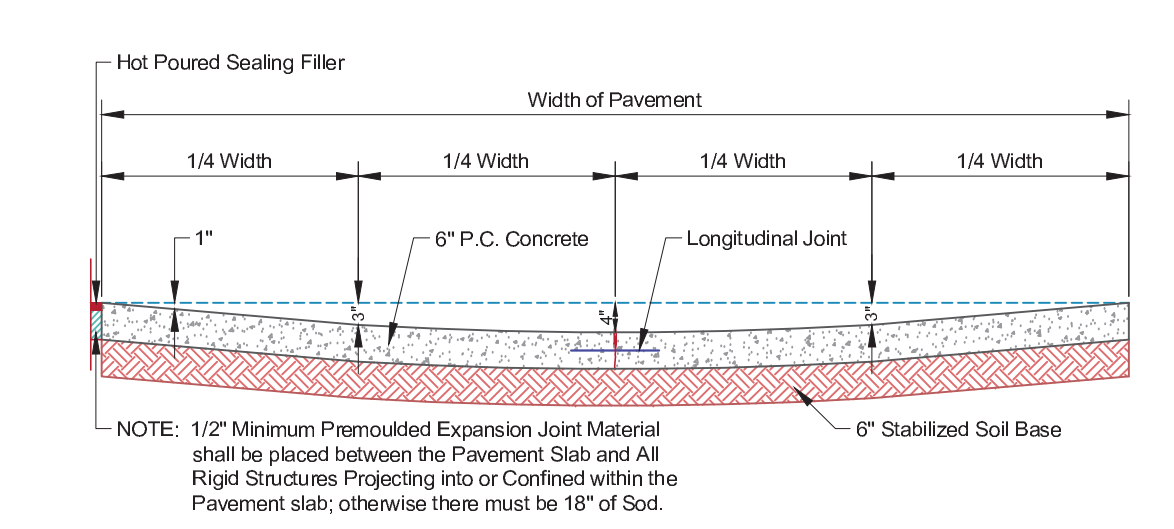
• TYPICAL SECTION •  
**48' P.C. CONCRETE PAVING**  
 (ASPHALT BASE)  
 • 226 •



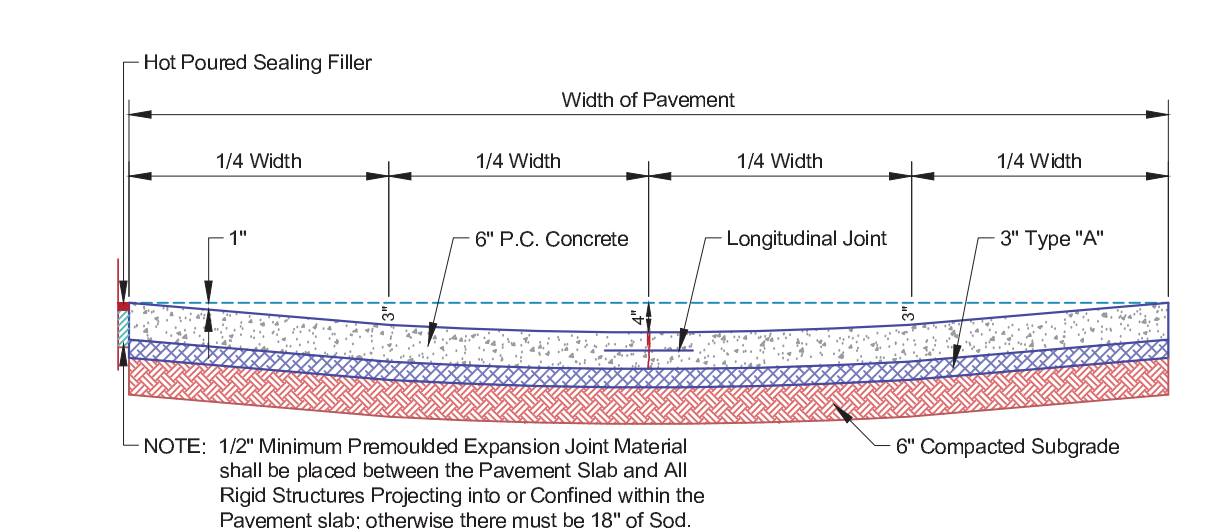
• TYPICAL SECTION •  
**48' CONCRETE WIDENING & RESURFACING**  
 (STABILIZED SOIL BASE)  
 • 270 •



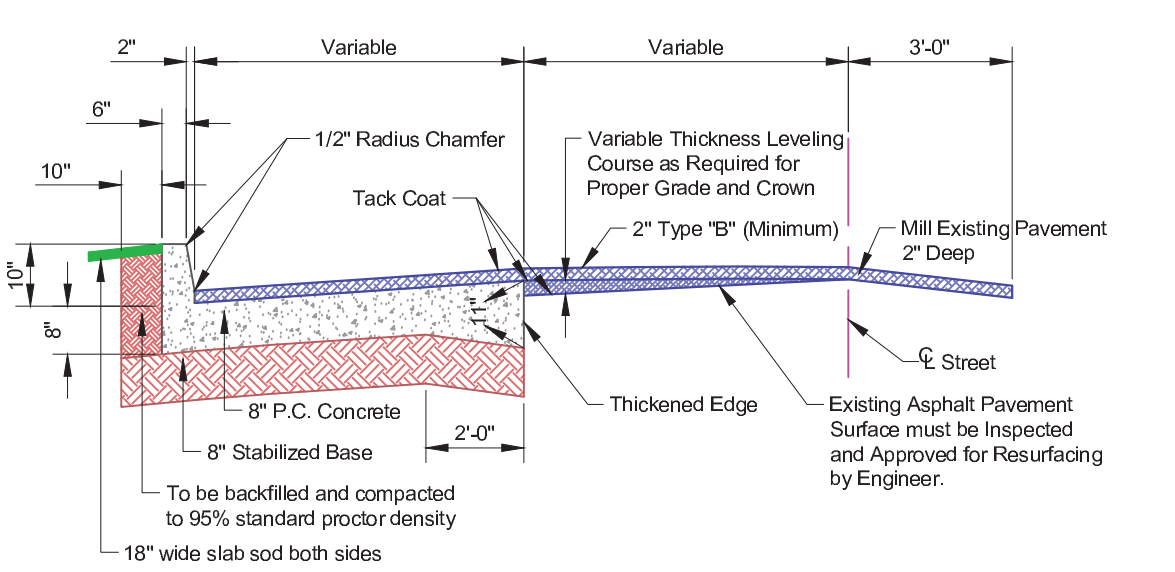
• TYPICAL SECTION •  
**48' CONCRETE WIDENING & RESURFACING**  
 (ASPHALT BASE)  
 • 272 •



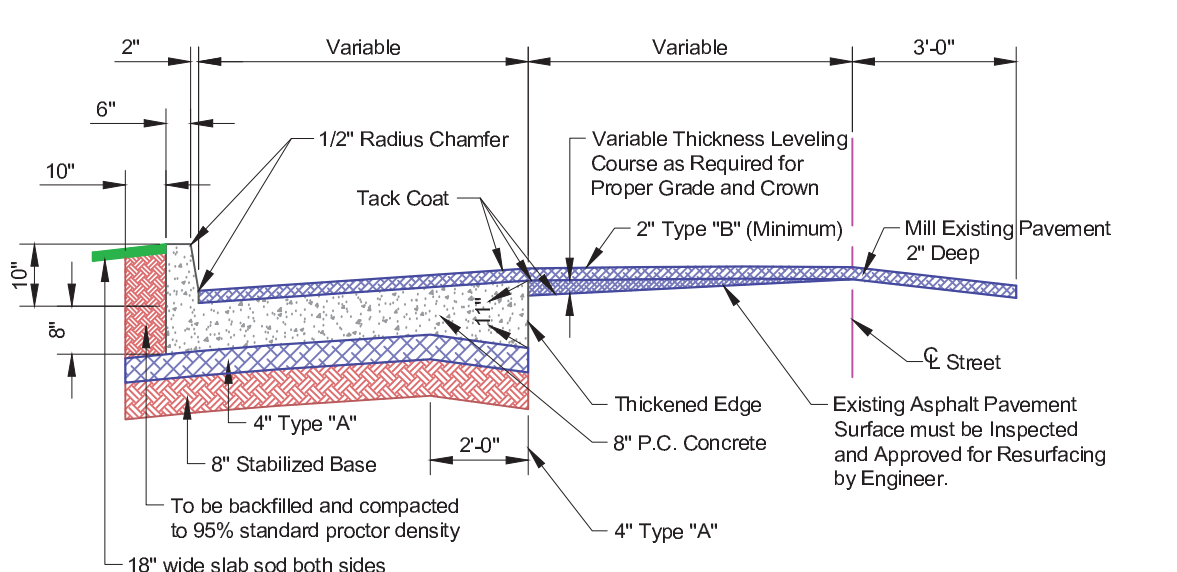
• TYPICAL SECTION •  
**P.C. CONCRETE ALLEY PAVING**  
 (STABILIZED SOIL BASE)  
 • 280 •



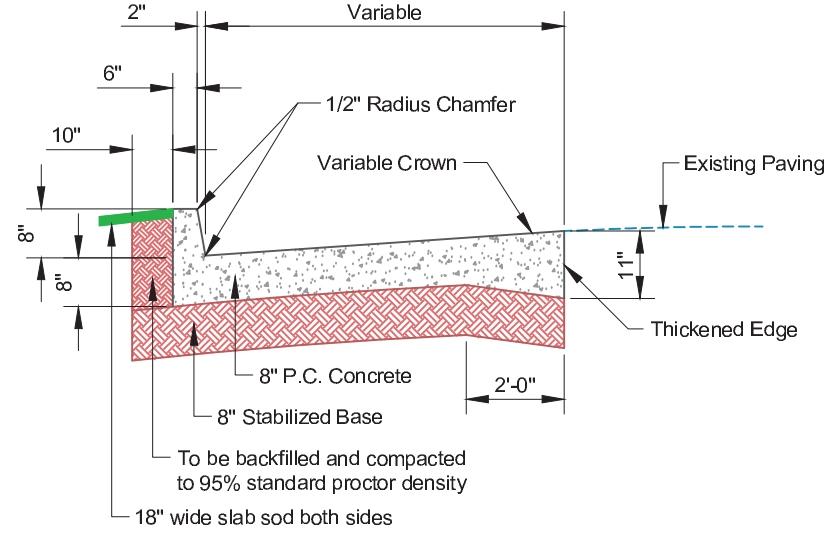
• TYPICAL SECTION •  
**P.C. CONCRETE ALLEY PAVING**  
 (ASPHALT BASE)  
 • 284 •



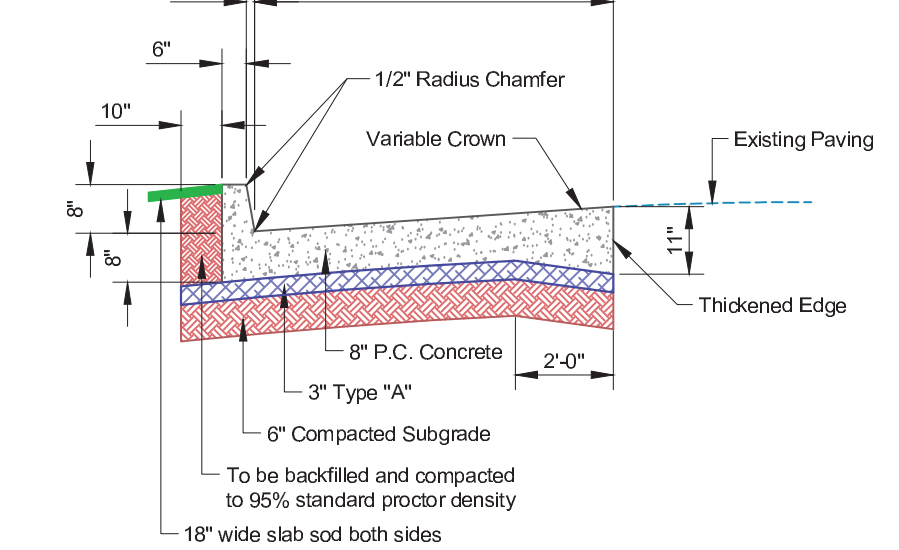
• TYPICAL SECTION •  
**WIDENING CONCRETE WITH ASPHALT OVERLAY**  
 (STABILIZED SOIL BASE)  
 • 286 •



• TYPICAL SECTION •  
**WIDENING CONCRETE WITH ASPHALT OVERLAY**  
 (ASPHALT BASE)  
 • 282 •

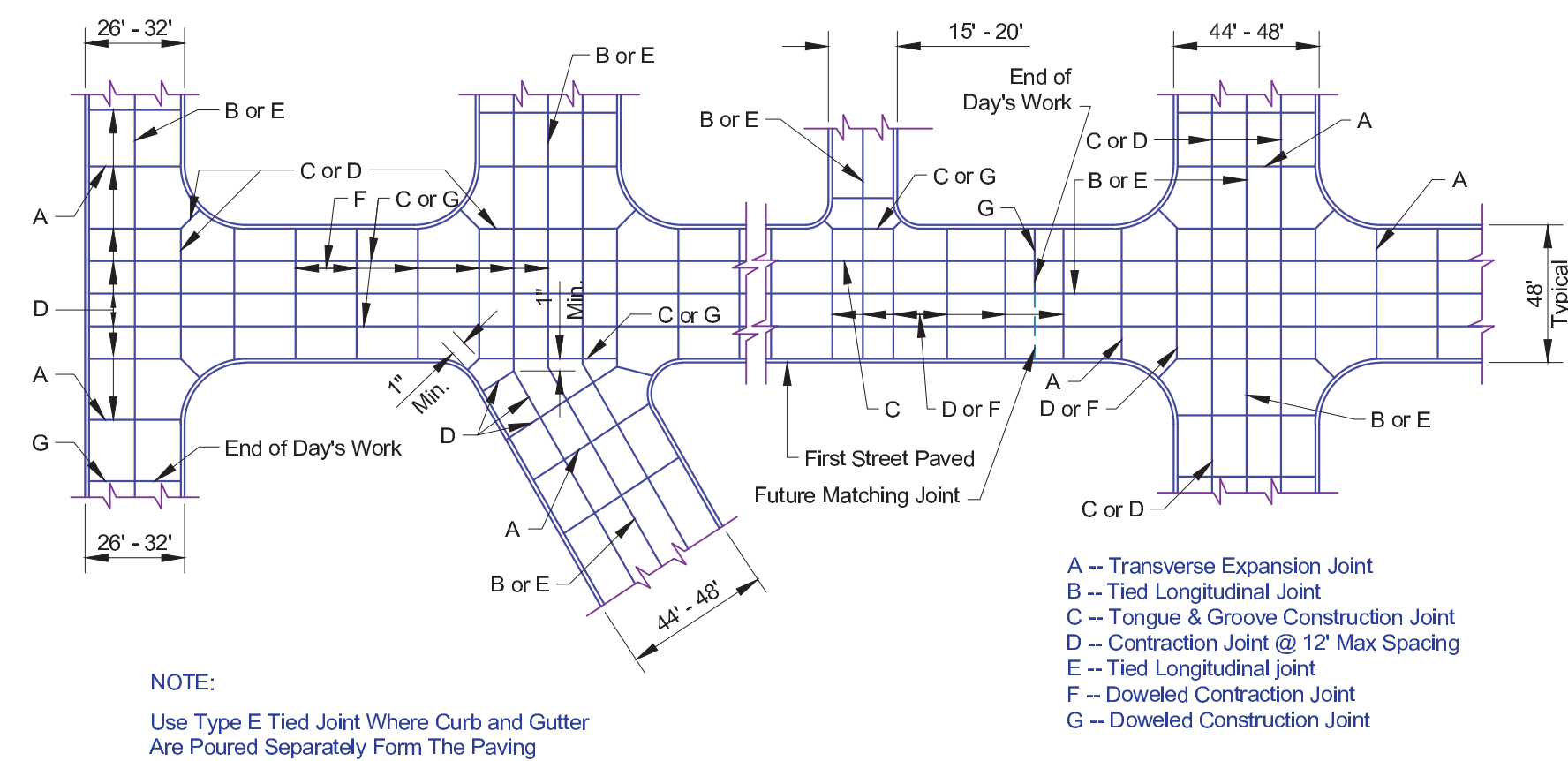


• TYPICAL SECTION •  
**WIDENING P.C. CONCRETE PAVING**  
 (STABILIZED SOIL BASE)  
 ARTERIAL WIDENING  
 • 250 •



• TYPICAL SECTION •  
**WIDENING P.C. CONCRETE PAVING**  
 (ASPHALT BASE)  
 ARTERIAL WIDENING  
 • 252 •

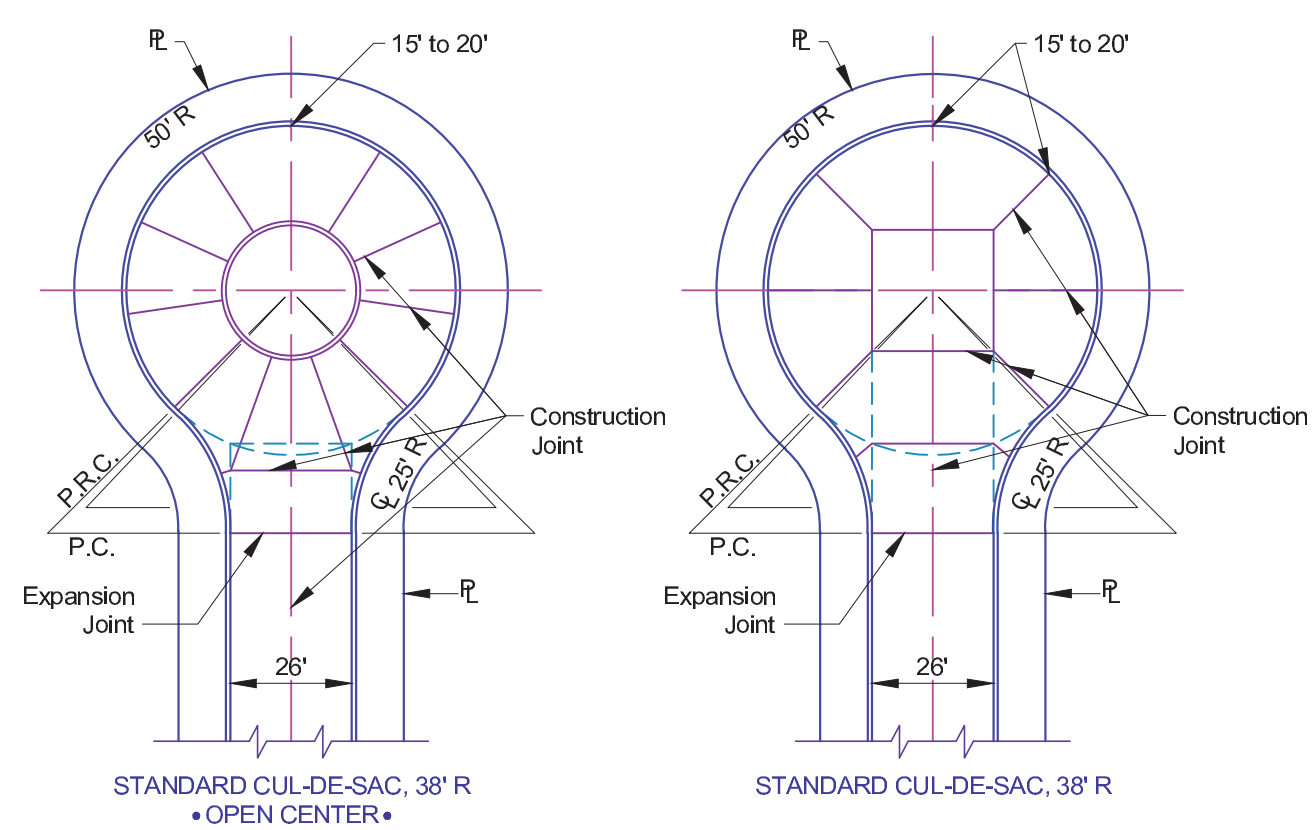
I:\okc\_okc\PMW-Section\CITY ACAD-STDs\D-200\_VSC\_02-04-13



NOTE:  
Use Type E Tied Joint Where Curb and Gutter  
Are Poured Separately From The Paving

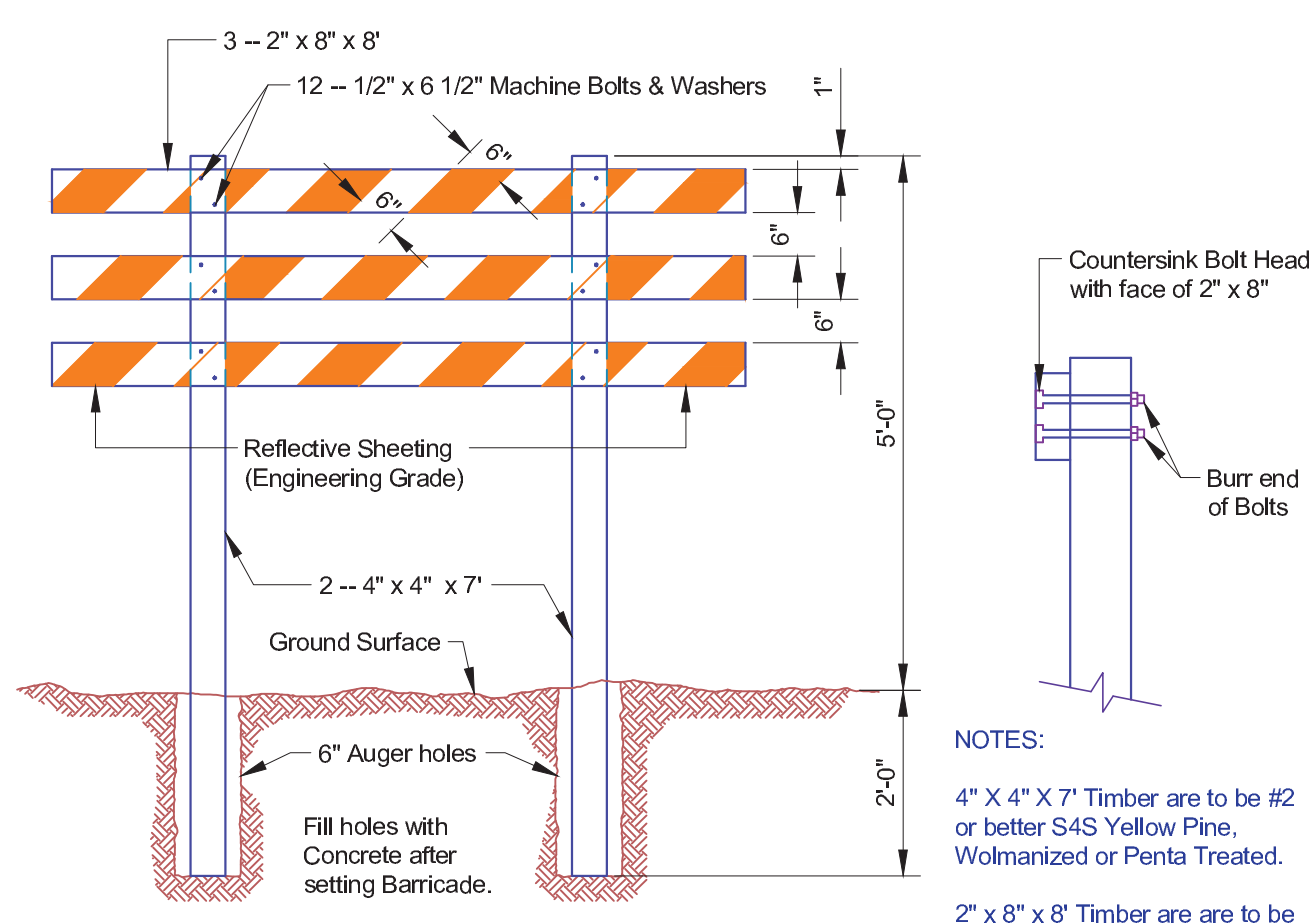
- A -- Transverse Expansion Joint
- B -- Tied Longitudinal Joint
- C -- Tongue & Groove Construction Joint
- D -- Contraction Joint @ 12' Max Spacing
- E -- Tied Longitudinal Joint
- F -- Doweled Contraction Joint
- G -- Doweled Construction Joint

JOINT LAYOUT DETAILS



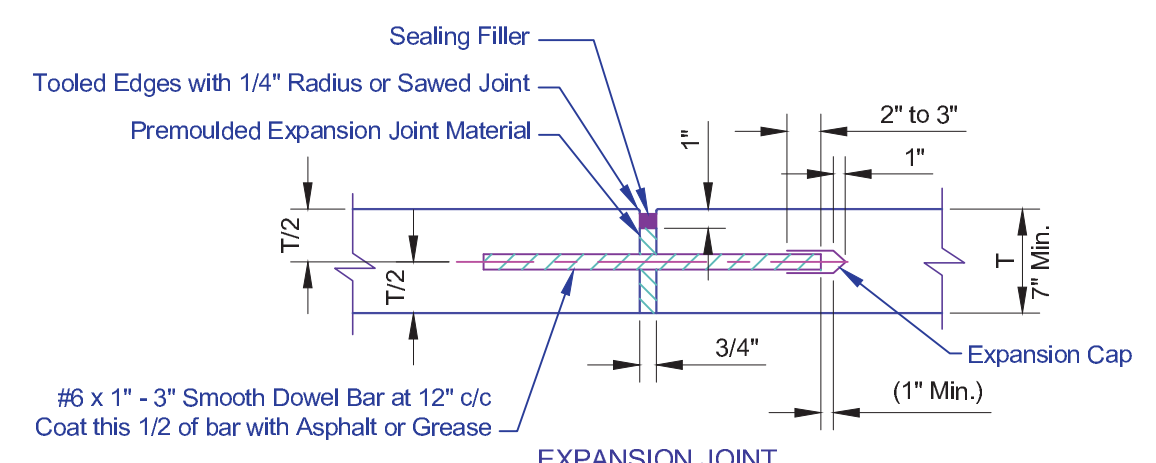
STANDARD CUL-DE-SAC, 38' R  
• OPEN CENTER •

JOINT LAYOUT DETAILS

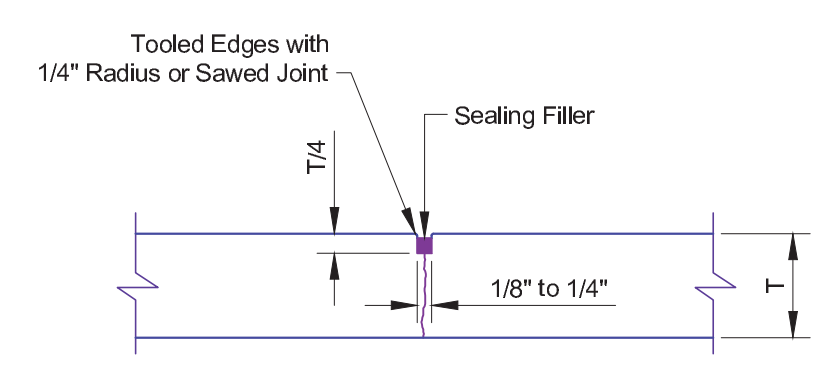


NOTE:  
Markings for Barricade Rails are to be Orange and White. Markings are to be 6" wide and attached at 45° angles as set forth in the latest edition of the Uniform Traffic Control Devices Manual

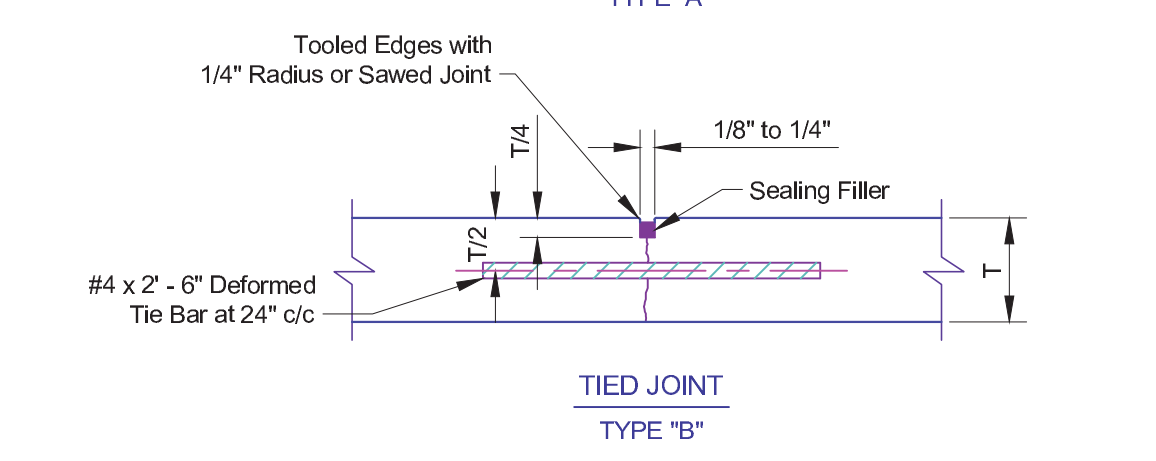
STANDARD REFLECTOR TYPE BARRICADE



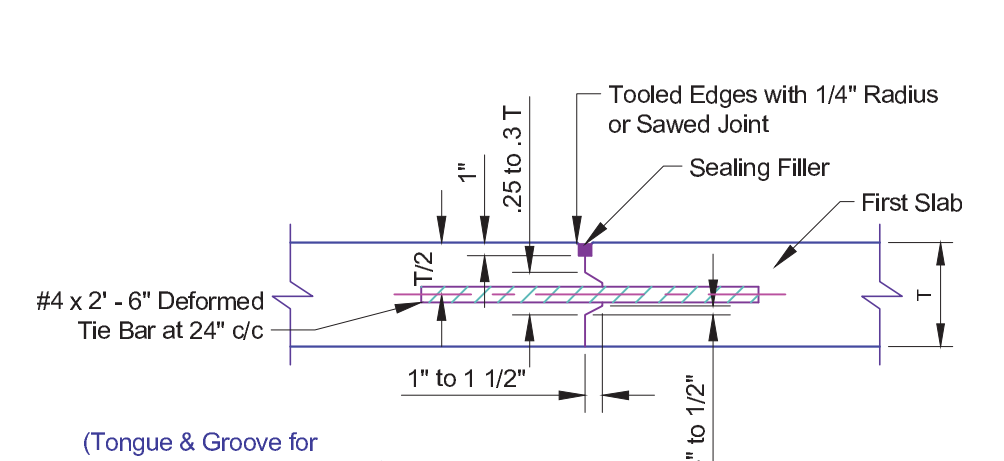
EXPANSION JOINT  
TYPE "A"



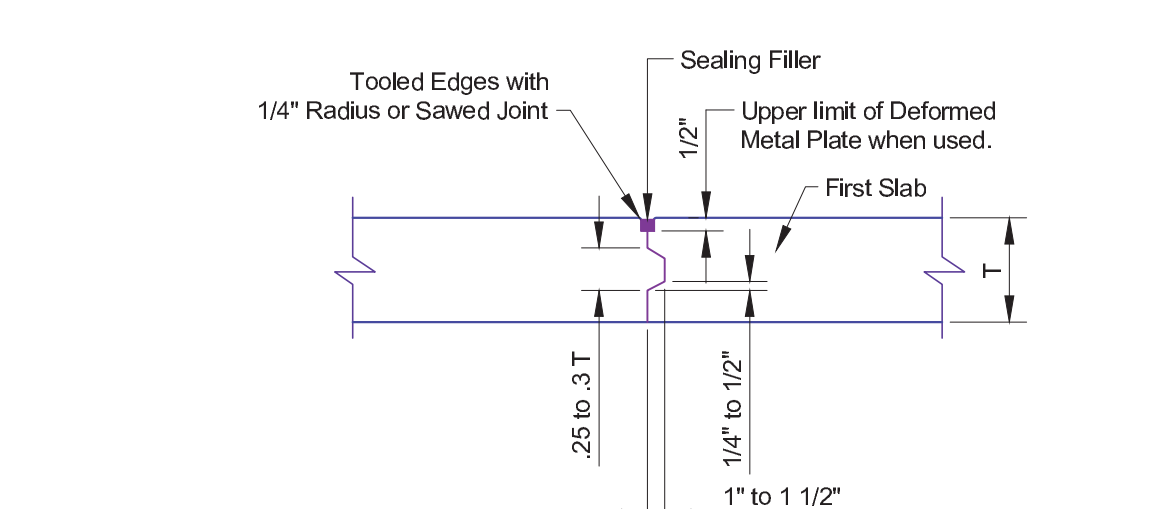
CONTRACTION JOINT  
TYPE "D" (ALT. TYPE "F")



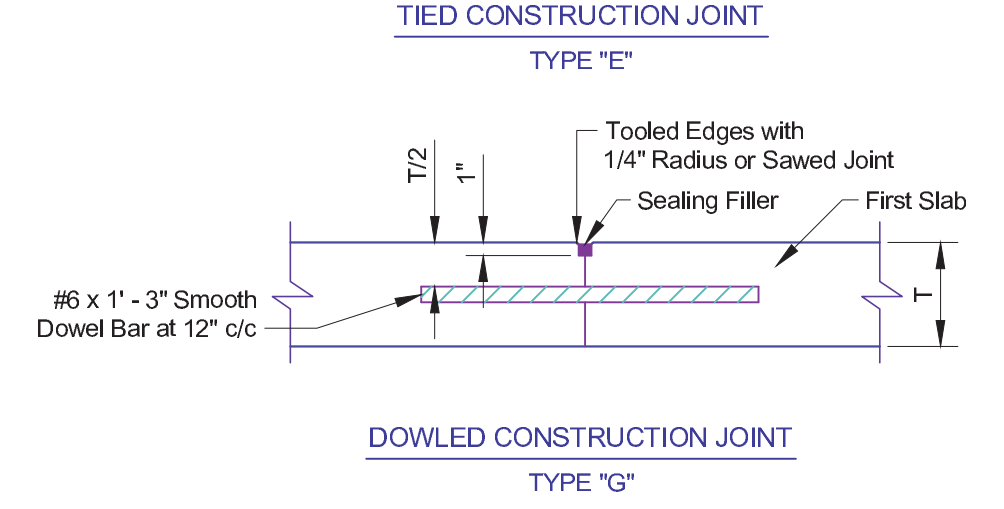
TIED JOINT  
TYPE "B"



TIED CONSTRUCTION JOINT  
TYPE "E"

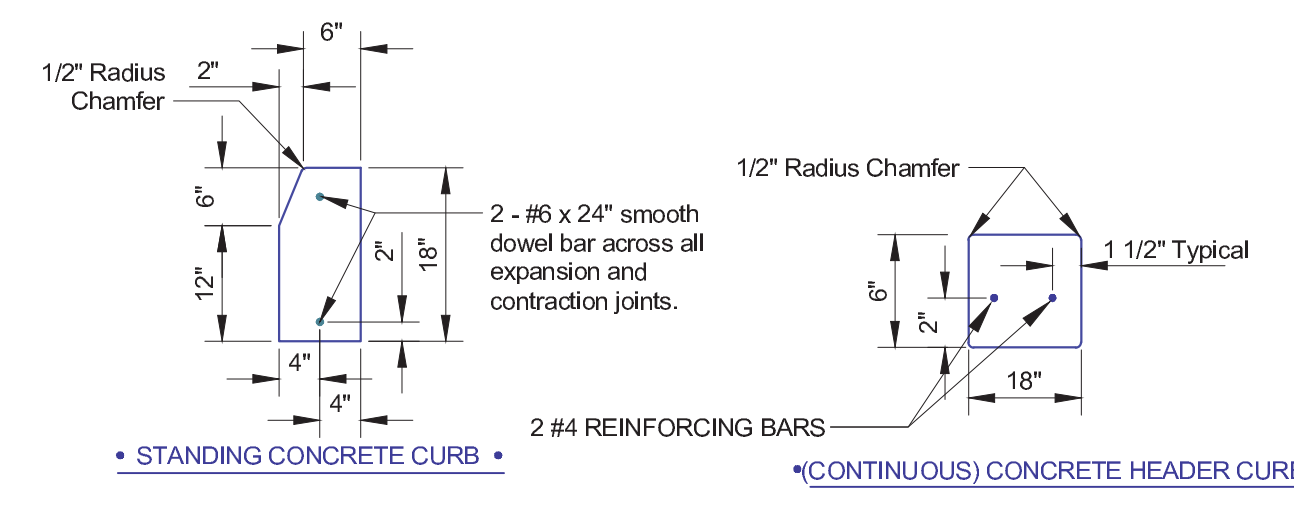


TONGUE & GROOVE CONSTRUCTION  
TYPE "C"

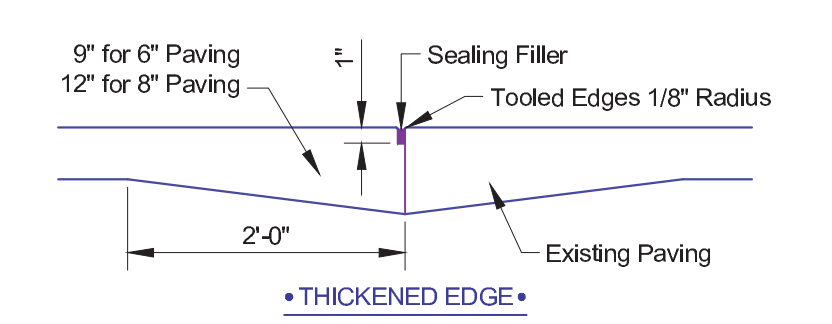


DOWELED CONSTRUCTION JOINT  
TYPE "G"

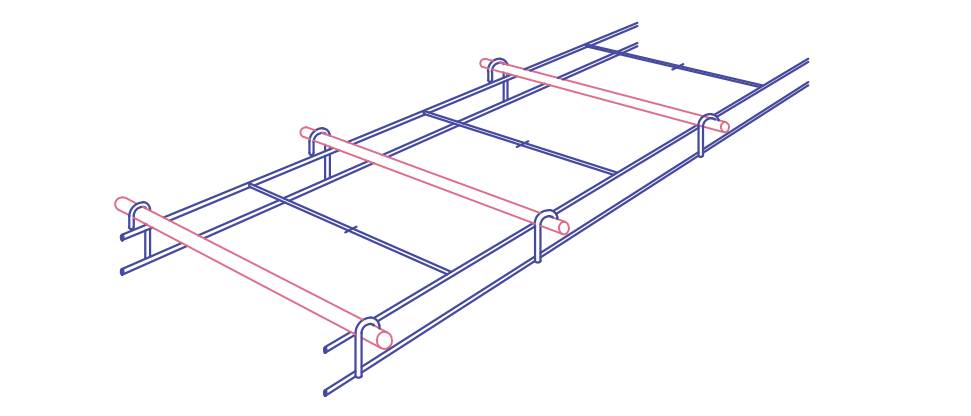
NOTES:  
Smooth Dowel Bars across Expansion Joints shall be provided with Expansion Caps, and coated with Asphalt or Grease, (Type A & G).  
Grooves in Joints may be formed by: (1) temporary embedment of a suitable Mandrel, (2) installation of a thin strip of preformed Joint Filler Material, (3) sawing the Pavingment.



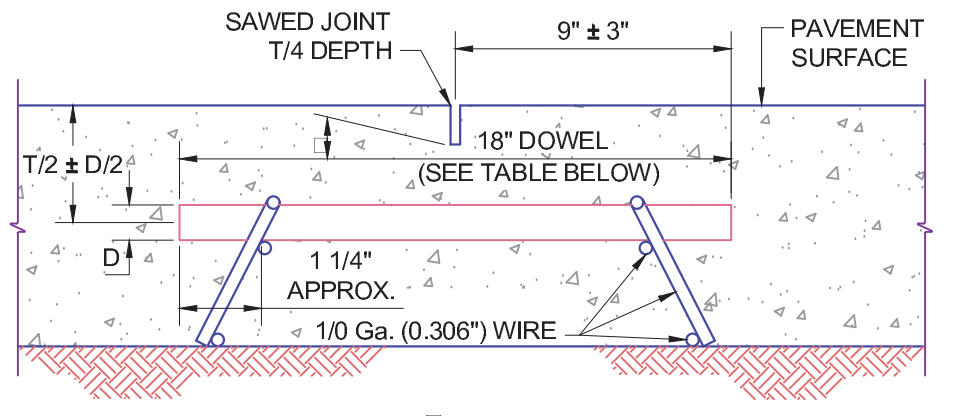
MISCELLANEOUS DETAILS



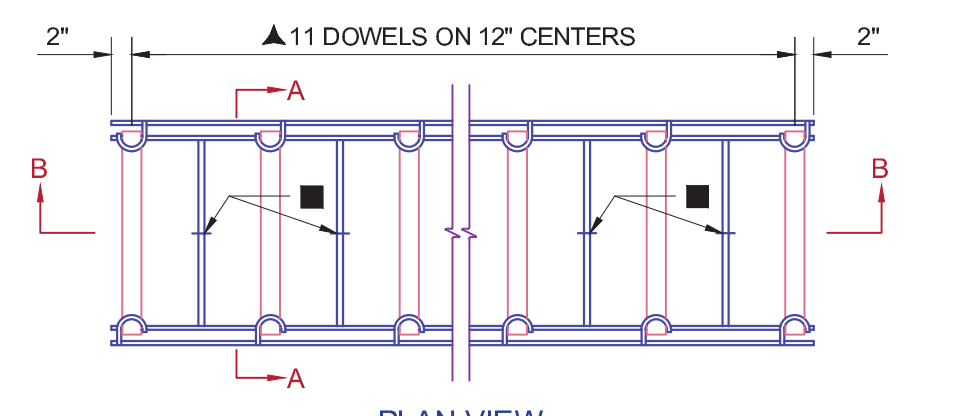
THICKENED EDGE



SECTION A-A



SECTION B-B



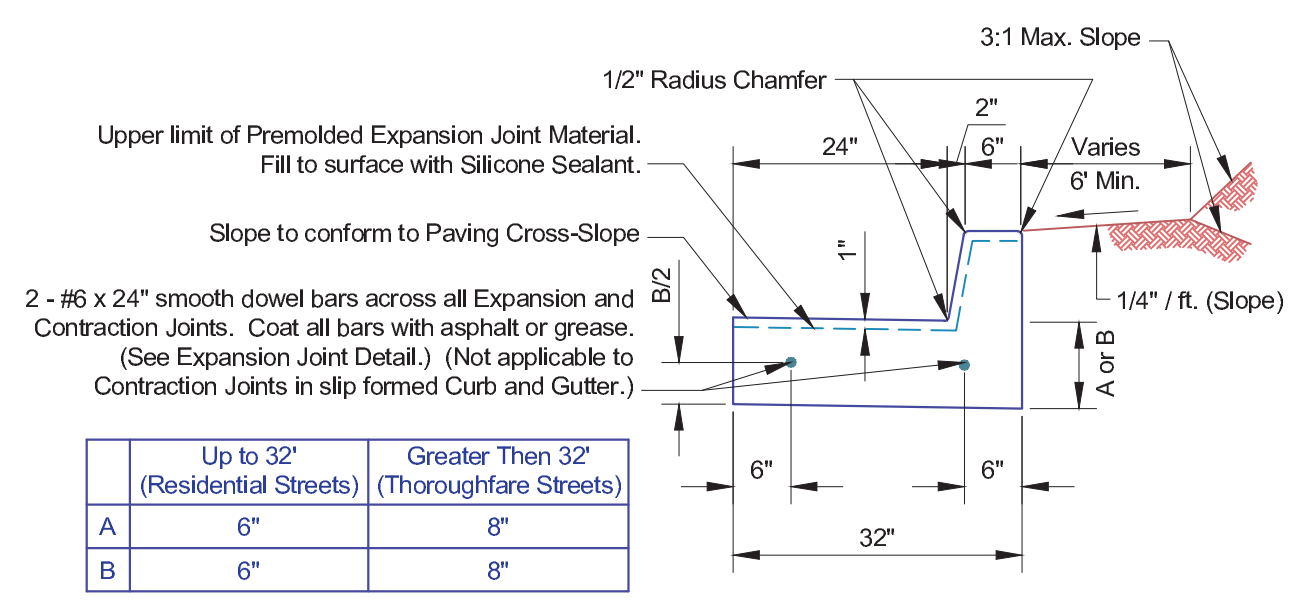
PLAN VIEW

DOWEL BARS			
▲ SPACING & SIZE DATA			
(T) SLAB DEPTH	DOWEL DIA.	TOTAL DOWEL LENGTH	C/C DOWEL SPACING
7"	1"	15"	12"
8" - 11"	1 1/4"	18"	12"
12" - 16"	1 1/2"	18"	12"

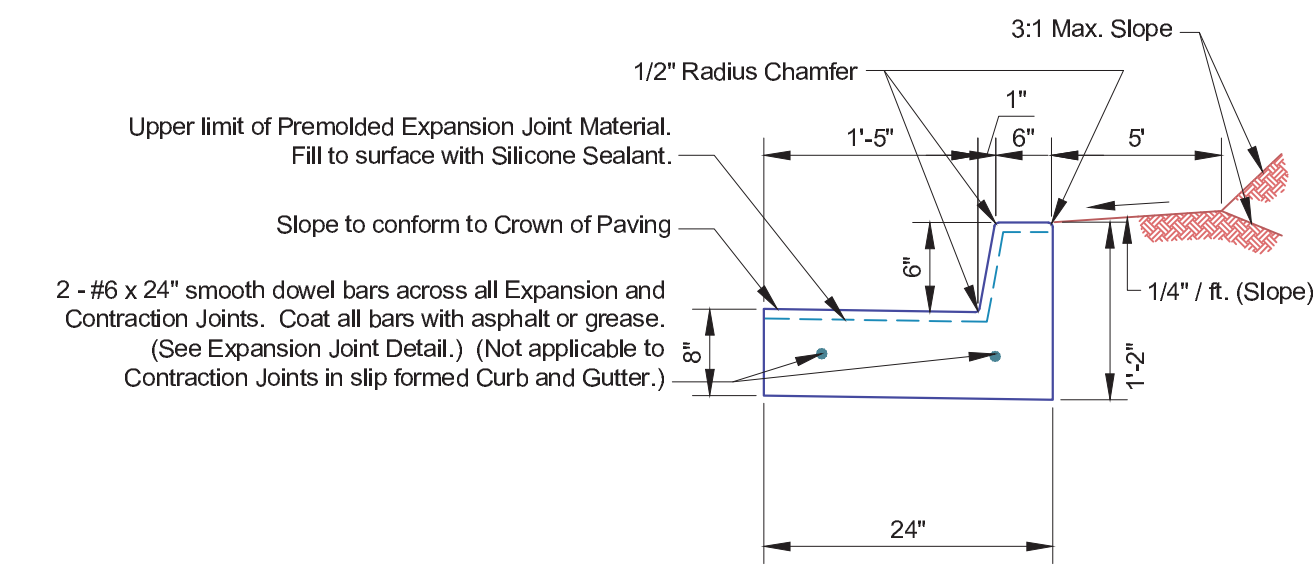
■ SPACER: FOUR EA. 7 GAGE (0.177") WIRES PER UNIT, NOTCHED @ MIDPOINT OF WIRE. SPACER IN FIELD AFTER PLACEMENT REGULAR DOWELS GREASED

DOWELED CONSTRUCTION JOINT DETAILS  
TYPE "F" (ALT TYPE "D")

NOTES:  
Type "F" to be used for continuous pours only.  
Do not use for headers at days end stopping point.  
No Dowel Joints Where Slab Thickness is Less Than 7"



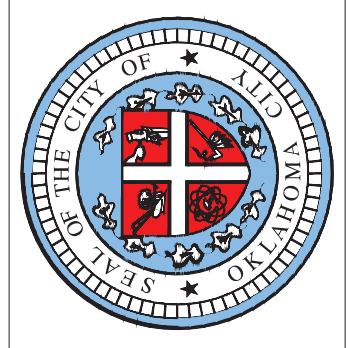
CONCRETE CURB & GUTTER DETAIL (BARRIER CURB)



CONCRETE CURB & GUTTER DETAIL FOR DOWNTOWN

NOTE: Maximum spacing of 1/2" Expansion Joints to be 100' c/c with Contraction Joints 15' - 20' apart to match Driveway Returns. (Expansion Joint spacing, not applicable to slip formed Curb and Gutter.)

The City of  
**Oklahoma City**  
Public Works Department  
Engineering Division



APPROVED BY: DATE: 02-07-13  
ERIC J. WENGER, P.E.  
CITY ENGINEER  
DRAWN: TVN  
DATE: 03-21-17

**STANDARD TYPICAL SECTIONS  
MISCELLANEOUS DETAILS**

Drawing Number  
D-500  
16 OF 16  
REVISION 32617



TRANSPORTATION • ENVIRONMENTAL • INFRASTRUCTURE • MUNICIPAL

Date: May 8, 2026  
To: Brett Crecelius *BC*  
From: Robbie Williams  
Subject: Harmony Grove Addition  
Final Plat, Preliminary Plat  
Private Paving and Drainage Plans  
Public Waterline and Sanitary Sewer Plans  
Re-Submittal Received May 5, 2026

We have reviewed the above project and submitted material, and our comments are as follows:

#### General

1. We would like a written response from the Engineer on your April 15, 2026, memo after our last TEAMS meeting. We are also requesting this to be done for this memo as well.
2. The Engineer/Owner to provide a copy of written approval from the private utility line easement holder. Their easement is adjacent to proposed structures and will have a roadway constructed on top of the gas line. We see no reason to further review plans until this is received.
3. There were no changes to the proposed grading as discussed from April 15, 2026, TEAMS meeting, only contours were added.

#### Final Plat

1. Our comments are noted on the attached final plat.

#### Preliminary Plat

1. Our comments are noted on the attached preliminary plat.

#### Drainage Study with a Revision Date 02-16-2026

1. City Code 156.61 SPECIFIC Standards, Part A requires a minimum of 1 foot above the base flood elevation (100-year storm). The finish floor should be 1 foot above the 100-year flow in the streets and swales, etc. Review all finish floor elevations to meet the code. Also, all the buildings have several finish-floor elevations, if they are just a single building it would have only 1 finish-floor elevation (this was clarified that within the building the floors would need to be stair stepped), please clarify otherwise. This was not done. See ordinance part 156.62 (D) – the engineer needs to generate the base flood elevation (100 Year storm) in the streets and swales to determine finish floor elevations.
2. In the drainage study provide calculations for the 6-inch swale detail in between buildings, see attached. The finish floor elevation of the building needs to be higher than the flowline of the ditch. With the slope available we are uncertain if it will carry the 100-year storm. (See attachment – for one area noted).

### Private Paving and Drainage Plans

1. Grading Plan – From our April 15, 2026, TEAMS meeting discussion none of our comments were addressed regarding our concern of the buildings flooding. None of the spot elevations were changed, only the proposed contours were added. See attached, there are still locations where the building finish floor elevation is at or will be below finish grade when grading is complete, especially the swale between buildings.
2. OKC Standard drawing with typical sections were provided and circled that do not match what is being constructed. Provide correct paving typical details. There was no sidewalk details provided. This is from a previous comment.
3. On the Paving General Layout sheet and a note that all islands are to have solid slab sod, I believe that is what was agreed upon.
4. See drainage report comments update all finish floor elevations for all structures. This was a previous comment.
5. It is unclear where all the retaining walls be constructed. Provide a plan and profile sheets showing existing and proposed grades, etc. so it is clear we can understand where they are and the height etc. This was discussed on April 15, 2026.
6. Add 4' wide sidewalk meeting pedestrian clear zone along North Wilburn Avenue. The design engineer should look at adding curb and gutter along Wilburn Avenue and Street 5. We want to see a typical section due to grade change from Wilburn to subject property. This has not been done only hatched where it goes, details and cross-section need provided to review and to construct. This is from a previous comment.

### Public Waterline and Sanitary Sewer Plans

1. No comment water meters have been placed in the grass median.

On the next submittal we expect to see all of the above so we can complete our review.

Should you need additional information let me know.

# BETHANY

Oklahoma

## Department of Planning & Community Development

4/15/26

Harmony Groves Preliminary and Final Plat meeting notes and comments from the in-person meeting at City Hall at 2:30 PM on 3/24/2026.

Comments, concerns, and questions on the plats are as follows:

- 1) Only outer streets, running North and South, need a name. both north and south streets require a 50' private Right of Way and Public Utility Easement. **Final Plat scale does not appear to be correct 1=100 feet. Final Plat should be cleanup up with buildings and unused markings removed. It should be a clean final plat that can be used to determine easements. Building sizes and comments in bottom left should be removed.**
- 2) Forty (40) foot setback required on the east side of property outside of the required fifty (50) foot right of way as per the approved PUD. **Proper dimensions to be put on preliminary and final plats showing easements and setbacks correctly.**
- 3) Twenty (20) foot setback required on the west side of property outside of the fifty (50) foot right of way as per the approved PUD. **Proper dimensions to be put on preliminary and final plats showing easements and setbacks correctly.**
- 4) A minimum of eight (8) ADA compliant parking spaces need to be identified. Eight (8) is identified at current parking capacity of 320 spaces and if parking space count changes, the proper number will need to reflect the increase/decrease in ADA compliant spaces as identified in the IBC. **Proper amount of ADA spaces included, but two should be moved to the bottom most easement to ensure accessibility to each "row" of buildings.**
- 5) Include a landscape plan. With current drawing, a minimum of 27 trees, outside of the right of way and public easement, should be identified on the landscaping plan that should be included with resubmission. These trees must adhere to allowed species as identified in chapter 155.10 of the Bethany City Ordinances. **A landscape plan was not provided. Provide landscape plan to show green space, trees, etc. that meet city ordinance 155.10.**
- 6) Proper screening, a minimum height of 8' and 95% opacity is required to be identified on all portions of the site that abut a residential zone. Where fence is installed on the retaining wall details must be provided. **No detail was provided. Provide details of retaining wall and fence on the west and north side of property. Fence should be shown on the preliminary plat.**
- 7) Confirm the finished height of the buildings. 13D sprinkler systems will be required due to having two (2) accesses along Wilburn to the property. **Include 13D sprinkler system to be installed in the notes on preliminary plat.**

- 8) Consideration of AC units and subsequent pad placement should be identified so as not to interfere with stormwater runoff. AC units not allowed in utility easement(s) and there currently is no room behind/between buildings. **A/C units not allowed to be in islands in front of buildings that are in an easement. Units should be either roof mounted or noted to be placed in an area outside of any easement.**
- 9) Refer to the IRC of grading away from units. Three (3) inches of grading (down and away) in the first ten feet from the units if material is concrete and six (6) inches (down and away) in the first ten feet if the material is dirt/grass/sod. **This needs to be corrected and should be shown by a Grading Plan that is not spot elevations.**

---

- 10) **Provide an offset for water meters and identify that they will be placed within the utility easement(s) and the grass islands. Provide an offset for the water meters.**
- 11) Finished floor elevations must be adjusted to ensure that enough clearance between grades does not induce flooding in the units during a 100-year flood. **The swale detail between buildings shown on the cannot be constructed to drain west to Avaan Lane. One note in reviewing the spot elevations is that the elevations for the 6 feet wide sidewalk exceed the ADA maximum cross slope. A Grading Plan must be provided to show how drainage will occur. If one grading plan is too large, it should be broken up into sections showing proper grading and drainage detail.**

#### GENERAL

- All paving and drainage plans, waterline plans and sanitary sewer plans need to be updated to reflect the final building layouts, water and sewer layouts.
- Provide location of private utility boxes, layout, etc.
- The cross-slope elevations across the 6 foot sidewalk exceed 2%. This needs to be corrected.
- Provide a copy of written approval from the private utility line easement holder

Once these comments have been addressed, please send the revised plats and drawings to Community Development.

Sincerely,



Brett Crecelius

Community Development Director

405-603-3570

Brett.crecelius@bethanyok.org

# FINAL PLAT of HARMONY GROVE ADDITION

## BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, IM CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

### OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT, SARKER CAPITAL, LLC., DOES HEREBY CERTIFY THAT IT IS THE OWNER OF AND THE ONLY PERSON, FIRM, OR CORPORATION HAVING ANY RIGHT, TITLE OR INTEREST IN AND TO THE LAND SHOWN ON THE ANNEXED PLAT, AND THAT THEY HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED, AND THAT THEY HEREBY DEDICATE ALL THE STREETS AND EASEMENTS SHOWN HEREON TO THE PUBLIC FOR THE PURPOSES OF STREETS, UTILITIES AND DRAINAGE, FOR THEIR HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGN FOREVER, AND HAVE CAUSED THE SAME TO BE RELEASED FROM ALL ENCUMBRANCES SO THAT THE TITLE IS CLEAR, EXCEPT AS SHOWN IN THE ABSTRACTOR'S CERTIFICATE. AFTER INITIAL INSTALLATION OF ELECTRIC, TELEPHONE, CABLE, AND GAS LINES, ANY DUPLICATE LINES, INCLUDING TRANSFORMERS AND PEDESTALS, MUST BE INSTALLED COMPLETELY UNDERGROUND.

IN WITNESS WHEREOF, THE UNDERSIGNED HAVE CAUSED THIS INSTRUMENT TO BE EXECUTED THIS DAY OF 20 COVENANTS, RESERVATIONS AND RESTRICTIONS FOR THIS ADDITION ARE CONTAINED IN A SEPARATE INSTRUMENT.

SARKER CAPITAL, LLC.

COMPANY REPRESENTATIVE

STATE OF OKLAHOMA

SS:

COUNTY OF

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, ON THIS DAY OF 20 PERSONALLY APPEARED OF

TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT ON BEHALF OF SAID COMPANY, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID COMPANY, FOR THE USES AND PURPOSES HEREIN SET FORTH.

MY COMMISSION EXPIRES:

NOTARY PUBLIC

### LEGAL DESCRIPTION

A Tract of land located in the West Half (W/2) of the Southeast Quarter (SE/4) of Section Twenty (20), Township Twelve (12) North, Range Four (4) West, I.M., in the City of Bethany, Oklahoma County, Oklahoma and being more particularly described as follows:

Commencing at the Northeast Corner of the West Half (W/2) of Said Southeast Quarter (SE/4); Thence S00°06'31"E a distance of 989.12 feet to the Point of Beginning; Thence continuing S00°06'31"E a distance of 850.77 feet; Thence S89°28'47"W a distance of 165.00 feet; Thence S00°06'31"W (Measured S00°06'31"E) a distance of 95.00 feet; Thence S89°28'47"W a distance of 492.39 feet; Thence N00°19'35"W a distance of 334.26 feet; Thence N89°25'47"E a distance of 136.21 feet; Thence N00°34'13"W a distance of 810.91 feet; Thence N89°25'47"E a distance of 527.38 feet to the Point of Beginning.

### LAND SURVEYOR'S CERTIFICATE

I, ROSS C. MORRIS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL REGISTERED LAND SURVEYOR, AND THAT THE ANNEXED PLAT CORRECTLY REPRESENTS A CAREFUL SURVEY MADE UNDER MY DIRECTION, AND THAT THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.

ROSS C. MORRIS, L.S. 1457

STATE OF OKLAHOMA

SS:

COUNTY OF

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED ROSS C. MORRIS, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE ABOVE INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED, GIVEN UNDER MY HAND AND SEAL THE DAY OF 20

MY COMMISSION EXPIRES:

NOTARY PUBLIC

### BONDED ABSTRACTOR'S CERTIFICATE

THE UNDERSIGNED, A DULY QUALIFIED AND LAWFULLY BONDED ABSTRACTOR OF TITLES, IN AND FOR THE COUNTY OF OKLAHOMA, STATE OF OKLAHOMA, HEREBY CERTIFIES THAT THE RECORDS OF SAID COUNTY SHOW THAT THE TITLE TO THE LAND ON THE ANNEXED PLAT IS VESTED IN SARKER CAPITAL, LLC., AN OKLAHOMA CORPORATION, THAT ON THE DAY OF 20 THERE ARE NO ACTIONS PENDING OR JUDGMENTS OF ANY NATURE IN ANY COURT OR ON FILE WITH THE CLERK OF ANY COURT IN SAID COUNTY AND STATE AGAINST SAID LAND, OR THE OWNERS THEREOF, AND THAT THE TAXES ARE PAID FOR THE YEAR 20 AND PRIOR YEARS, THAT THERE ARE NO OUTSTANDING TAX SALES CERTIFICATES AGAINST SAID LAND, AND NO TAX DEED ARE ISSUED TO ANY ONE PERSON, THAT THERE ARE NO LIENS, MORTGAGES, OR OTHER ENCUMBRANCES OF ANY KIND AGAINST THE LAND INCLUDED IN THE ANNEXED PLAT, EXCEPT MORTGAGES, MINERALS, WATER RIGHTS AND EASEMENTS OF RECORD PREVIOUSLY RESERVED, EXCEPTED OR GRANTED.

IN WITNESS WHEREOF, SAID BONDED ABSTRACTOR HAS CAUSED THIS INSTRUMENT TO BE EXECUTED THIS DAY OF 20

NAME OF TITLE COMPANY

VICE-PRESIDENT

### COUNTY TREASURER'S CERTIFICATE

I, DO HEREBY CERTIFY THAT I AM THE DULY ELECTED, QUALIFIED OR ACTING COUNTY TREASURER OF OKLAHOMA COUNTY, STATE OF OKLAHOMA, THAT THE TAX RECORDS OF SAID COUNTY SHOW ALL TAXES ARE PAID FOR THE YEAR 20 AND PRIOR YEARS ON THE LAND SHOWN ON THE ANNEXED PLAT, THAT THE REQUIRED STATUTORY SECURITY HAS BEEN DEPOSITED IN THE OFFICE OF THE COUNTY TREASURER, GUARANTEEING PAYMENT OF THE CURRENT YEARS TAXES.

IN WITNESS WHEREOF, SAID COUNTY TREASURER HAS CAUSED THIS INSTRUMENT TO BE EXECUTED AT CITY OF OKLAHOMA CITY, THIS DAY OF 20

COUNTY TREASURER

### CITY PLANNING COMMISSION APPROVAL

I, PLANNING DIRECTOR FOR THE CITY OF BETHANY, STATE OF OKLAHOMA, HEREBY CERTIFY THAT THE BETHANY PLANNING COMMISSION DULY APPROVED THE ANNEXED PLAT ON THE DAY OF 20

PLANNING DIRECTOR

### ACCEPTANCE OF DEDICATION OF CITY COUNCIL

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BETHANY, OKLAHOMA, THAT THE DEDICATIONS SHOWN ON THE ANNEXED PLAT ARE HEREBY ACCEPTED, ADOPTED BY THE COUNCIL OF THE CITY OF BETHANY, OKLAHOMA THIS DAY OF 20

ATTEST:

CITY CLERK

MAYOR

### CERTIFICATE OF CITY CLERK

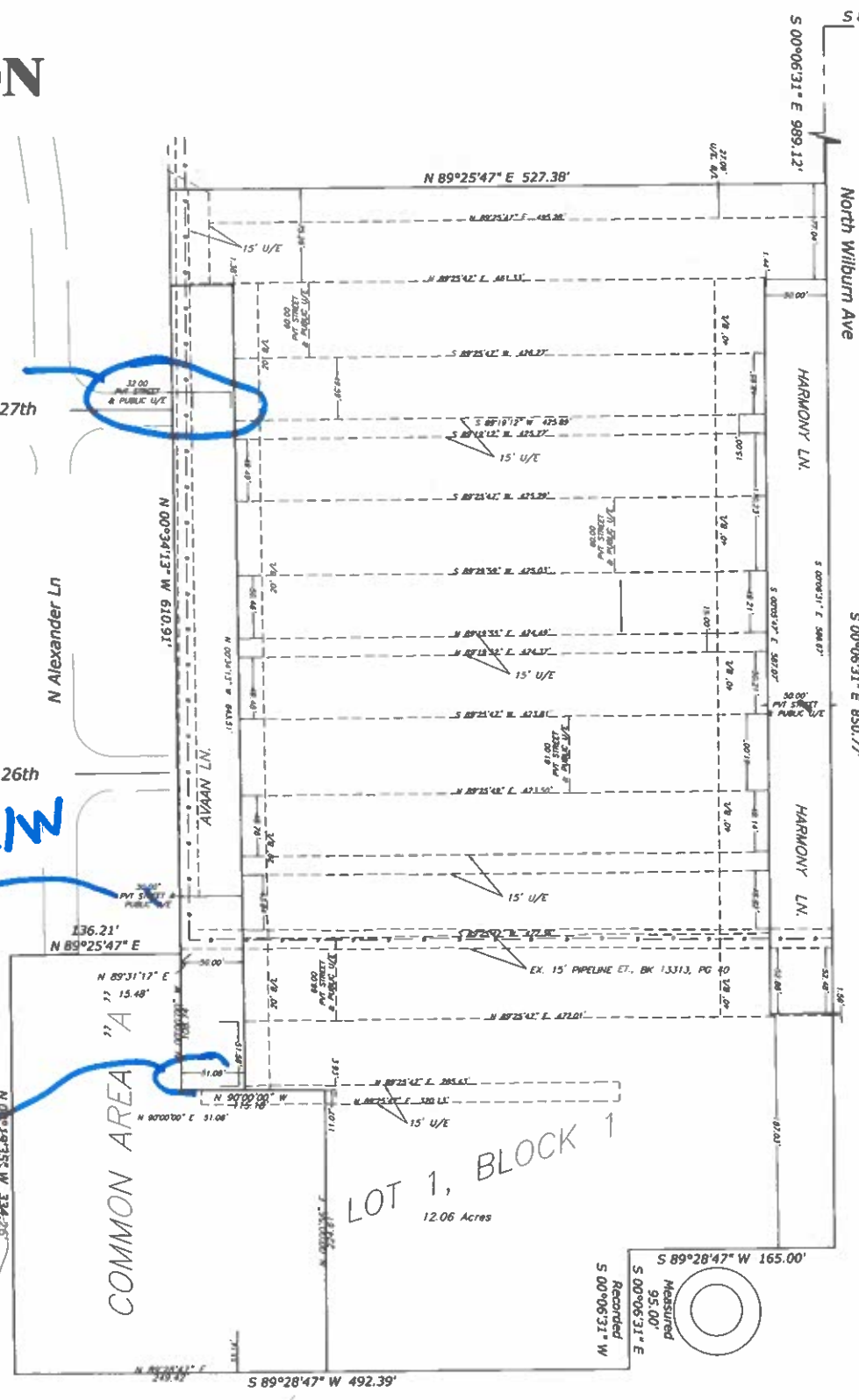
I, CITY CLERK OF THE CITY OF BETHANY, STATE OF OKLAHOMA, HEREBY CERTIFY THAT I HAVE EXAMINED THE RECORDS OF SAID CITY AND FIND THAT ALL DEFERRED PAYMENTS OR UNMATURED INSTALLMENTS UPON SPECIAL ASSESSMENTS HAVE BEEN PAID IN FULL AND THAT THERE IS NO SPECIAL ASSESSMENT PROCEDURE NOW PENDING AGAINST THE LAND SHOWN ON THE ANNEXED PLAT ON THIS DAY OF 20

CITY CLERK

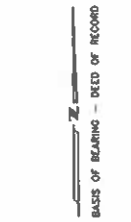
*Handwritten: ?*

*Handwritten: PVT R/W*

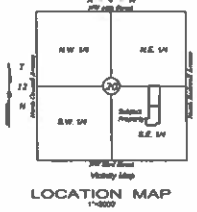
*Handwritten: Why Not 50'*



NE COR. SEC. 20 T12N, R4W, IM.



SCALE: 1"=400'



### LEGEND

- U/E = UTILITY EASEMENT
- D/E = DRAINAGE EASEMENT
- B/L = BUILDING LINE
- NR = NON RADIAL LINE

THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND SAID FINAL PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 11 SECTION 41-108 OF THE OKLAHOMA STATE STATUTES.

ALL CENTERLINE CONTROL WILL BE PK NAIL IF ASPHALT PAVING OR CUT "X" IF CONCRETE PAVING.

ALL PROPERTY CORNERS WILL BE 3/8" REBAR WITH L.S. CAP.

NOTE: ALL UTILITIES SHALL BE LOCATED IN THE PUBLIC STREET RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS.

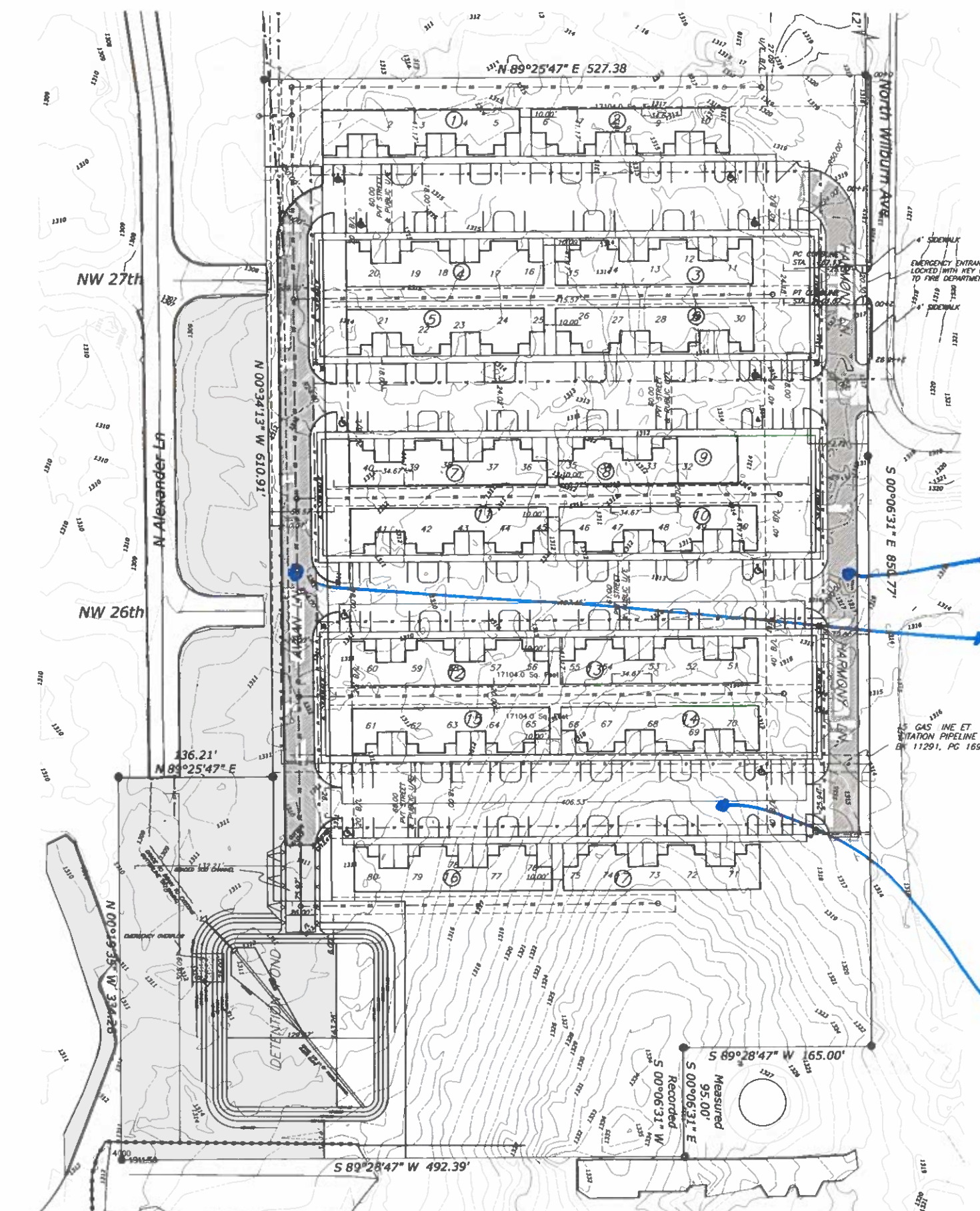
THE MAINTENANCE OR ALL PRIVATE STREET, ALL COMMON AREAS/DRAINAGE EASEMENTS, ALL MEDIANS, AND PUBLIC UTILITY EASEMENTS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

HARMONY GROVE ADDITION PRIOR TO FILING



617 N.W. 27th STREET MOORE, OK 73160 (405) 912-2775 (405) 912-2322 FAX CA 3549, EXP. 6-30-25

Seal area containing: OWNERS, COMPANY, SEAL; OWNERS, NOTARY, SEAL; ROSS C. MORRIS, L.S. 1457 (Professional Land Surveyor Seal); JESSICA E. MORRIS (Abstractor Seal); BONDED ABSTRACTOR'S SEAL; TREASURER'S SEAL; CITY CLERK SEAL.



**OWNER OF RECORD:**  
 Golem Sarker  
 11501 Marbella Dr  
 Oklahoma City, OK 73173  
 (405) 479-7462  
 gsarker@yahoo.com  
 TOTAL UNITS: 78

TOTAL AREA: 12.0 ACRES  
 TOTAL BUILDINGS: 14 BUILDINGS @ 5500 SF, 1 @ 5166 SF, 1 @ 2200 SF, 1 @ 3113  
 RATIO BUILDING SIZE TO AREA = 85,499/522,720 = 16%

DENSITY: 6.5 UNITS/ACRE  
 CURRENT ZONING: PUD

BUILDINGS ① ⑦ AND ⑩-⑯ ARE ALL 5,500 SF EACH  
 BUILDING ⑧ IS 3113 SF  
 BUILDING ⑨ IS THE OFFICE AT 2,200 SF  
 BUILDING ⑰ IS 5166 SF

*Doesn't match PUD*

**LEGAL DESCRIPTION** Book 15135, Page 1313

A Tract of land located in the West Half (W/2) of the Southeast Quarter (SE/4) of Section Twenty (20), Township Twelve (12) North, Range Four (4) West, T.12N., in the City of Bethany, Oklahoma County, Oklahoma and being more particularly described as follows:

Commencing at the Northeast Corner of the West Half (W/2) of Said Southeast Quarter (SE/4); Thence S00°06'31"E a distance of 989.12 feet to the Point of Beginning; Thence continuing S00°06'31"E a distance of 850.77 feet; Thence S89°28'47"W a distance of 165.00 feet; Thence S00°06'31"W (Measured S00°06'31"E) a distance of 95.00 feet; Thence S89°28'47"W a distance of 492.39 feet; Thence N00°19'35"W a distance of 334.26 feet; Thence N89°25'47"E a distance of 136.21 feet; Thence N00°34'13"W a distance of 610.91 feet; Thence N89°25'47"E a distance of 527.38 feet to the Point of Beginning.

**NOTES**

The subject property is located within an area having a Zone Designation, Zone X by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 40108C0260H with an Effective Date of December 18, 2006, for Community Number 40264 in the City of Bethany, Oklahoma County, Oklahoma, which is the current Flood Insurance Rate Map for the subject property.

**NOTE:** GAS, TELEPHONE, ELECTRIC, CABLE, ECT. SHALL BE PLACED WITHIN THE PROPOSED EASEMENTS

CURB STOPS SHALL BE PLACED AT ALL PARKING SPOTS

ALL HADICAP SPACES SHALL MEET THE CITY ORDINANCES

ISLANDS SHALL BE AT GRADE, GRASSED, WITHOUT CURBS

A MINIMUM OF 8 ADA SPACES SHALL BE REQUIRED

SCREENING, MIN. 8' HIGH AND 95% OPACITY SHALL BE PLACED ON THE WEST AND NORTH SIDES

SANITATION POLYCARTS SHALL BE PLACED IN THE ISLANDS

WATER METERS SHALL BE LOCATED IN THE ISLANDS

MAXIMUM BUILDING HEIGHTS SHALL BE 30'

A/C UNITS SHALL BE PLACED ON THE ROOF OR ATTICS

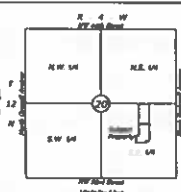
*Dimension PUT R/W & Public U/E*



*13 D Sprinkler System to be installed for all buildings.*

*Show Proposed Grating Contours*

**CITY OF BETHANY**



**LEGEND**

- SS— SANITARY SEWER LINE
- W— WATER LINE
- OHE— OVERHEAD ELECTRIC
- S— EXISTING GAS SERVICE
- S— SANITARY SEWER MANHOLE
- S— BOTTOM SEWER MANHOLE
- P— POWER POLE
- A— GUY ANCHOR
- L— LIGHT POLE
- F— FIRE HYDRANT
- V— WATER VALVE
- M— WATER METER
- G— GAS VALVE
- G— GAS METER
- E— ELECTRIC METER
- P— TELEPHONE PEDESTAL
- M— MONITOR WELL
- S— SIGN
- T— TRAFFIC SIGNAL POLE
- B— TRAFFIC SIGNAL BOX
- F— FENCE
- I— SET IRON PIN
- F— FOUND IRON PIN
- B— BENCHMARK

**PRELIMINARY PLAT TO SERVE**

**HARMONY GROVES**

BEING A PART OF THE SE/4, SEC. 20, T12N, R4W, 1M  
 CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

**MORRIS**  
 ENGINEERING AND SURVEYING

www.morrisengineering.com  
 617 N.W. 27TH ST. MOORE, OK 73100  
 (405) 912-2775 OFC. (405) 912-2322 FAX

REGISTERED PROFESSIONAL ENGINEER  
 ROSS C. MORRIS  
 16837  
 OKLAHOMA

DATE: 10-24-23

PRELIMINARY PLAT TO SERVE  
**HARMONY GROVES**

1"=50'

REF NO. REF NO.

SHEET NO. 1 OF 1

N Alexander Ln

N 00°34'13" W 610.91'

5th

VARIABLE HEIGHT RETAINING WALL

AVAN LN

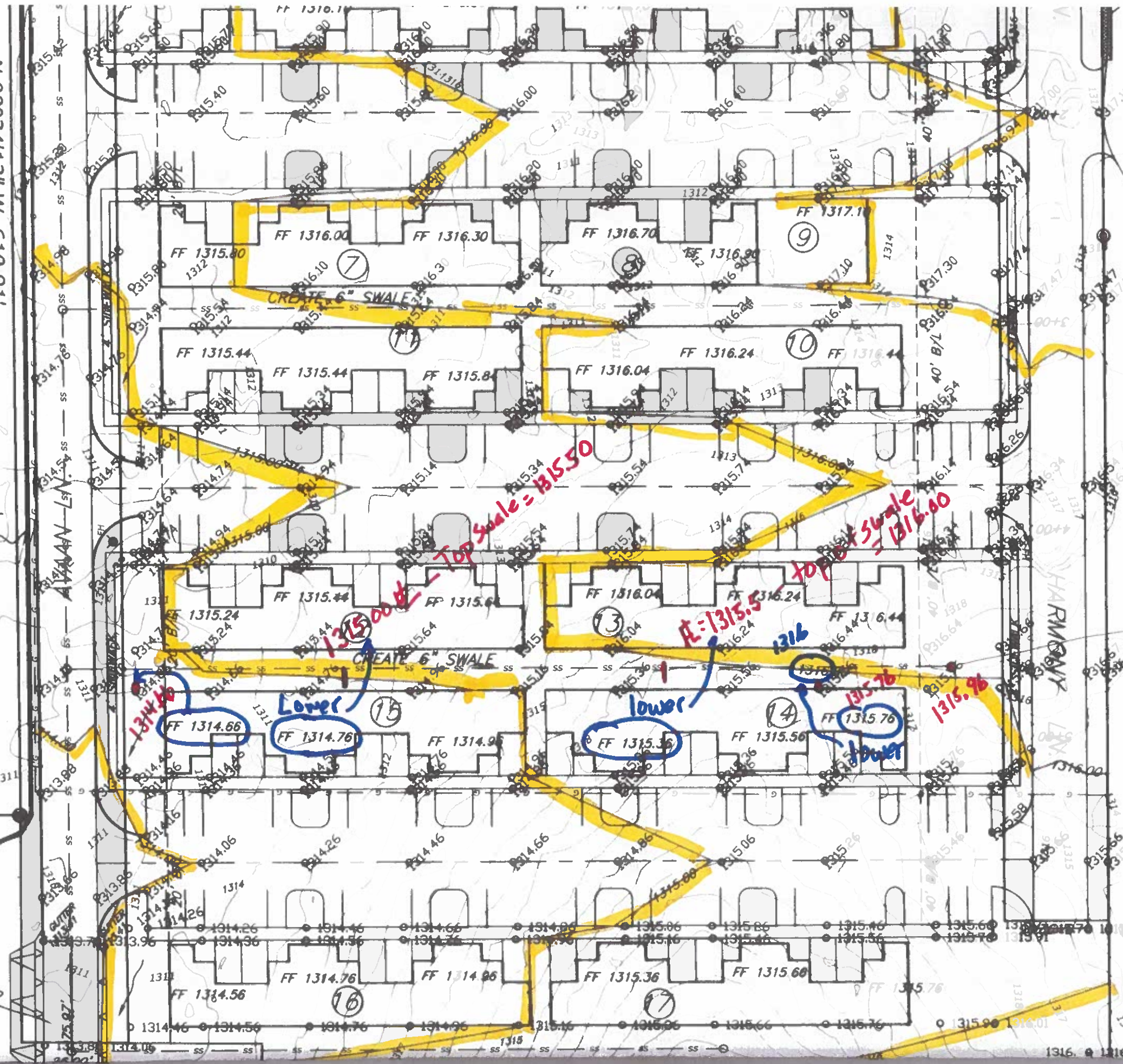
S 00°06'31" E 850.77'

HARMONY LN

136.21' N 89°25'47" E

GRADED SOD CHANNEL

GRAD TO 5' TO CENTER  
GUTTER 1.309



5-12  
available



## **NOTICE OF PUBLIC HEARING**

On July 2, 2026, the Bethany Planning and Zoning Commission will during its regular session hold a public hearing at Bethany City Hall, 6700 N.W. 36<sup>th</sup> St., Bethany, OK 73008 for the following: Hold a discussion regarding PC 21-16 in accordance with City of Bethany Ordinances 158.024(B)(5)(18) and 158.024(B)(5)(19). These ordinances provide that:

1. If substantial construction has not begun within three years of City Council approval for a planned unit development (PUD), the Community Development Director must review the development plan to determine whether it should remain in effect or be voided.

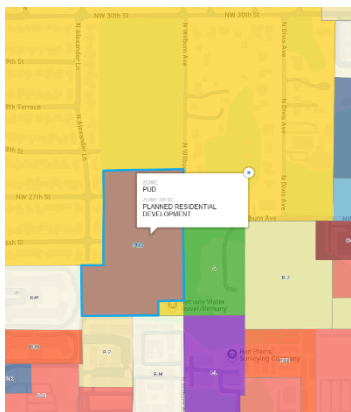
2. If the Community Development Director determines that the development plan, or any phase of it, is no longer viable, the matter will be presented to the Planning Commission for a recommendation to the City Council. At the same time, the Director may request a review of the existing zoning classification and may ask that the property be rezoned to the district that was in place before approval of the planned district.

Following the public hearing the Bethany Planning & Zoning Commission will forward a recommendation to the Bethany City Council, which in turn will hear this case on July 21, 2026, at 6:30 p.m. At that meeting a second public hearing will be held and following the hearing the Council will vote to approve or deny the request.

Property owners and interested parties are encouraged to attend the Planning and Zoning Commission meeting to provide input or obtain additional information.

The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The City may waive the 48-hour rule if signing is not the necessary accommodation.

Legal Description: : UNPLTD PT SE4 SEC 20 N12N 4W BEG 989.12FT S OF NE/C W/2 SE4 TH S850.77FT W165FT S95FT W492.39FT N334.26FT E136.21FT N610.91FT E527.38FT TO BEG CONT 12.07ACRS MORE OR LESS





Department of Planning and Zoning

June 8<sup>th</sup>, 2026

**Notice of Hearing**

**Planning & Zoning Commission and City Council**

Subject: Public Hearing Notice: Discussion on PC 21-16

**Dear Property Owner:**

This notice is to inform property owners that the City of Bethany Planning & Zoning Commission will hold a discussion regarding PC 21-16 in accordance with City of Bethany Ordinances 158.024(B)(5)(18) and 158.024(B)(5)(19). These ordinances provide that:

1. If substantial construction has not begun within three years of City Council approval for a planned unit development (PUD), the Community Development Director must review the development plan to determine whether it should remain in effect or be voided.
2. If the Community Development Director determines that the development plan, or any phase of it, is no longer viable, the matter will be presented to the Planning Commission for a recommendation to the City Council. At the same time, the Director may request a review of the existing zoning classification and may ask that the property be rezoned to the district that was in place before approval of the planned district.

Property owners and interested parties are encouraged to attend the Planning and Zoning Commission meeting to provide input or obtain additional information.

If you have any questions regarding this notice, please contact the Community Development Department at (405)-789-6005.

**SECRETARY  
PLANNING AND ZONING COMMISSION**

(SEE LOCATION MAP ON BACK)

A. Property Information

1. Case No.: 21-16
2. Location of Property: 12 Acres located at the South half of NW 27<sup>th</sup> and Wilburn.
3. Legal Description: UNPLTD PT SE4 SEC 20 N12N 4W BEG 989.12FT S OF NE/C W/2 SE4 TH S850.77FT W165FT S95FT W492.39FT N334.26FT E136.21FT N610.91FT E527.38FT TO BEG CONT 12.07ACRS MORE OR LESS
4. Present Zoning: PUD (Planned Unit Development)
5. Proposed Zoning: Zoning that preceded the PUD district

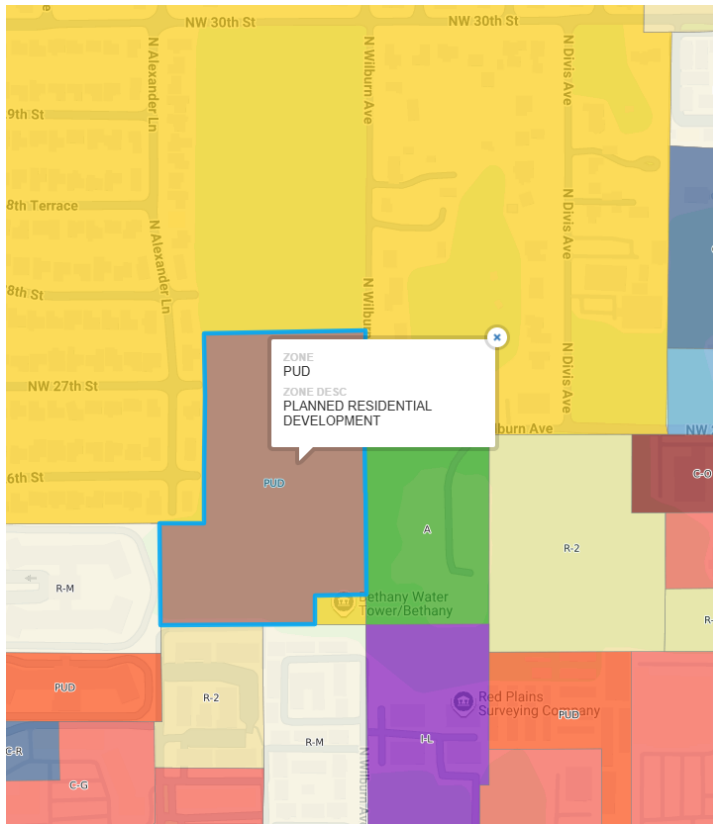
B. Hearing Schedule

1. The Planning and Zoning Commission hearing will be held on July 2<sup>nd</sup>, 2026, at 6:30 P.M. At this hearing, any interested citizen will have the opportunity to speak to the Commission concerning the proposed zoning change. The Commission will vote on whether to recommend approval or disapproval of the proposed rezoning. **IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS HEARING.**
2. The City Council Hearing will be held on July, 21<sup>st</sup> 2026, at 6:30 P.M. At this hearing, any interested citizens will have the opportunity to speak to the City Council concerning the request. The City Council will vote either to adopt or reject the proposed rezoning ordinance. **IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS MEETING.**

C. Location of Hearings

Both the Planning and Zoning Commission and City Council hearings are held in the Bethany City Council Chambers in City Hall.

D. Map



**City of Bethany**  
**Planning & Zoning Staff Report**

**July 2, 2026**

CASE NO: PC 26-15

**Request:** Discussion and possible action on PUD moratorium.

**Background:** On April 16, the Planning and Zoning Commission voted to recommend a PUD moratorium in order to protect community character, evaluate infrastructure capacity, and ensure a clear public benefit. Various issues with existing zoning categories have led to the increased use of the PUD overlay district to bypass residential district bulk and yard standards. Overuse and misuse of the PUD overlay district may compromise the health, safety, and welfare of the community. For these reasons, the Commission recommended a PUD moratorium, and the City Council approved Ordinance No. 2093 on May 19, 2026, establishing a 180-day moratorium. Ordinance No. 2093 temporarily prohibits the granting of zoning approvals, rezonings, plats, development or site plans, permits, licenses, and certain other zoning approvals, as well as the commencement or expansion of developments or projects involving the planned unit development zoning overlay district.

**Analysis:** Staff reviewed various Planned Unit Development (PUD) overlay district regulations from surrounding municipalities in Oklahoma, as well as examples from other states that incorporate unique incentive- and reward-based approaches not observed locally. Using these examples as a foundation, a draft PUD was developed to serve as a starting point for staff and commissioners. The draft prompted discussion at the last meeting regarding the desired vision for PUD regulations in Bethany. Commissioners raised questions regarding the Simplified Planned Unit Development (SPUD) provisions included in the draft ordinance. In response, staff reviewed SPUD regulations, infill proposals, and related comments to address those concerns and further refine the draft ordinance.

The meeting packet will include the following materials for commissioners to review and use in developing ideas for discussion: the current City of Bethany PUD overlay district regulations, the draft PUD ordinance, a SPUD review, and the landscaping ordinance. The intent is to develop a viable replacement for the existing PUD regulations during the 180-day PUD moratorium.

**Required Action:** Hold a discussion and provide feedback on proposed PUD updates related to the current PUD moratorium.

**Attachments:**

- PUD draft
- Current PUD
- Other supporting material concerning PUDs



*§ 158.024 OVERLAY DISTRICTS.*

(A) Except as otherwise specifically provided in this chapter, all use of land, development or structures in special districts shall conform to the requirements set forth herein.

(B) Planned Unit Development Overlay District (PUD).

(1) The intent of the Planned Unit Development Overlay District (PUD) is to encourage developments with a superior built environment that permit greater flexibility and consequently more creative and imaginative design than generally is possible under conventional zoning regulations. It is hereby intended to permit, upon application and upon approval of site and use plans, the creation of Planned Unit Development Overlay Districts (PUD). Such a designation shall be determined by, and shall be designed to provide for a mix of uses, to secure safety from fire, panic, and other dangers, to promote health and the general welfare, to provide adequate light and air, to preserve features of historical significance, to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements, and with a reasonable consideration being given, among other things, to the character of the district and its peculiar suitability for particular uses and with a view to conserving the land throughout the city. In PUD District, the regulations which are adopted are intended to accomplish the same purposes as do zoning and other applicable regulations in districts which are developed on a lot by lot rather than a unified basis.

(2) Application of Planned Unit Development Overlay District provisions. A PUD Overlay District may be proposed for the Central Business District in the city if (1) more than one land use is proposed on a single land; (2) different land uses that would not otherwise be permitted to locate within the same zoning district are proposed for development on one or more adjacent parcels under single or separate ownership; or (3) an exception or variance from the size, setback, frontage, density, uses or other standards that are required in other zoning districts permitting the same uses are being proposed as part of a development plan. No PUD District shall be considered without submission of a development plan. A site proposed for a PUD District classification shall contain a contiguous area of five acres or more, unless a smaller area is specifically approved by the Governing Body due to special and unusual circumstances. Property shall be deemed to be contiguous if all parts are under unified control, to ensure that the development plan can be executed as approved, and all parts abut or are separated by only a road, easement, or right-of-way.

(3) Effect of Planned Unit Development District approval. Approval of a PUD District shall constitute an amendment to the zoning ordinance. Designation of a property as a Planned Unit Development District (PUD) in accordance with an approved development plan shall supersede all existing and prior zoning classifications. A planned district approved by the City Council by ordinance shall be designated on the zoning map by the letter's PUD.

(4) Standards. All PUD Districts shall at a minimum satisfy the following standards and requirements:

(a) Uses permitted. The Development Plan shall specify, both for the project as a whole and/or for subareas within the project, as appropriate, those principal and accessory uses as are to be permitted. The City Council may include or exclude uses from the Development Plan or include uses with attached conditions as appropriate to achieve the intent of these provisions. In making its determinations of the uses to be permitted within the PUD District, the City Council may consider the compatibility and relationship of uses within the project, the compatibility and relationship of permitted uses adjoining or in proximity to the PUD District, the appropriateness of permitted uses for the area in general and their overall impact on the community and the consistency of the permitted uses with other adopted plans and policies.

(b) Residential. A PUD District may allow for a more flexible placement, arrangement and orientation of residential structures, with accompanying flexibility in the subdivision of land and the grouping of open space and accessory facilities such as garages and parking. A PUD District also may provide for a mixture of housing types (single family, two family, multi-family, etc.) according to a carefully drawn plan. The proposed residential development shall make maximum use of natural features, and, through proper site planning measures, it shall be compatible with the existing character and development pattern of the surrounding area. In a PUD District proposing more than 75 individual residential dwelling units, no more than 12% of such units should be two-family or multi-family units.

(c) Office. A PUD District may contain orderly, well-designed office and institutional uses compatible with the surrounding area.

(d) Commercial. A PUD District may provide for maximum attainable commercial usage of property while ensuring development consistent with the City Council's long-range plans.

(e) Conditional uses. Approval of a use requiring a "special use permit" shall be considered as an amendment to the PUD District. In considering a "special use permit," in addition to the Zoning Ordinance's applicable section on conditional uses, all rezoning considerations for a PUD District shall be applicable.

(f) Intensity of development. The Development Plan shall contain provisions to regulate the intensity of development within the PUD District. Such provisions may apply to the project as a whole or to subareas within the project as appropriate.

(g) For non-residential development, the intensity of development may be regulated;

1. By specifying an appropriate Floor Area Ratio(s) (FAR);
2. By specifying maximum square footage or gross leasable area;
3. By specifying setbacks, height and bulk restrictions; or

4. By a combination of such restrictions for the project as a whole or for components or subareas within the project. In addition, non-residential Development Plans may specify performance standards to be imposed on the project and restrictions regarding the location and nature of industrial, commercial, and other residential activities. The City Council may impose such standards and restrictions as necessary to achieve the intent of this section. In making its determination regarding the intensity of development and appropriate performance standards, the City Council may consider character and scale of similar developments, the character and scale of surrounding development and the area in general, the real or anticipated impact on public facilities and services, and consistency with other plans and policies.

5. For residential development, the Preliminary and Final Development Plans shall specify the residential density for the project as a whole or for subareas within the project as appropriate. In making its determination regarding whether the proposed residential density is appropriate, the City Council may consider (i) compatibility of residential densities with other uses within the district as well as outside the district, (ii) the impact of residential densities on public facilities and services, (iii) the consistency with the Comprehensive Plan and other adopted plans and polices, and (iv) the comparison of allowed density under the residential zoning districts.

6. Bulk, area and height requirement. The Development Plan shall specify bulk, area and height restrictions for the project as a whole and for subareas and/or components of the project as appropriate. The City Council may impose alternate or additional standards or restrictions to achieve the intent of this section. In making its determination regarding such standards or restrictions, the City Council may consider the character and scale of the proposed development as it relates to other uses and structures both within the district and outside the district, the general character and scale of similar developments within the area of the proposal, and the consistency with adopted plans and policies. The Development Plan shall contain a summary of how the proposed bulk, area and height requirements differ from those set forth within the regulations of the underlying district(s).

7. Public facilities. The Development Plan shall specify conditions, restrictions and standards relating to the timely provisions of necessary public facilities as appropriate. The City Council may impose conditions, restrictions and standards as appropriate to achieve the intent of this Section. In making its determination regarding such conditions, restrictions and standards, the City Council may consider the adequacy of existing public facilities and services, the timely provision of adequate public facilities and services and the overall cost to the community.

8. Access to public thoroughfares. The Development Plan shall specify the location and general design of ingress and egress to the project along with access restrictions as appropriate. The City Council may impose such access standards and restrictions as necessary to protect the integrity and function of the City's thoroughfare system and to otherwise achieve the intent of this section. In making its determination regarding such access standards and restrictions, the City Council may consider the classification and function of the thoroughfare system, existing and projected traffic volumes, the condition

and design of the affected thoroughfares, the effect of the proposed development on traffic flow and circulation patterns on other adopted plans and policies.

9. Off-street parking and loading requirements. Unless specifically modified by the Development Plan, the off-street parking and loading requirements contained within these regulations shall apply. Reductions in off-street parking and loading standards shall be approved only if it can be demonstrated that parking demand will be less due to density and/or occupancy characteristics of the project and/or the availability of public transportation.

10. Signs. Unless specifically modified by the Development Plan, the sign regulations contained within these regulations shall apply. Modifications to the sign regulations shall be approved only if the general intent to the sign regulations regarding size, location, illumination, structural integrity and relation to surrounding uses is satisfied.

11. Perimeter treatment. The Development Plan shall specify any special treatment of perimeter areas designed to mitigate the impact of the project upon adjoining properties and/or to achieve an appropriate transition between land uses and densities. The City Council may impose those standards and requirements for perimeter treatment it deems necessary to protect adjoining properties from adverse effects and to achieve an appropriate transition of land uses and densities.

(5) Procedure. Applications for PUD District Designation shall be processed pursuant to a three-step review process as specified in this section. The three-step procedure shall include:

- (a) A suggested pre-application conference;
- (b) A preliminary development plan; and
- (c) A final development plan.

1. Preliminary development plan. An applicant may submit a Preliminary Development Plan, which shall contain, at a minimum, the following information:

2. A legal description of the site proposed for PUD designation, including a statement regarding present ownership and present zoning. The legal description must contain the original signature and seal of an Oklahoma registered surveyor.

3. A Master Conceptual Plan that indicates parcel, tract or lot locations and dimensions; density per gross and per net acres in the development and in each land use component, if appropriate; the intensity of land use in the development and each land use component, if appropriate; the amount of land in common area open space, recreation use or public use, if appropriate; and the treatment of project boundaries.

4. Written text which includes supporting graphics describing the overall concept of the plan; the uses included and any limitations upon uses; building types and prototypical site layouts, if appropriate; provisions for maintenance of common areas; any proposed agreements, dedications or easements; any proposed private covenants and restrictions;

and any other information required by this section or pertinent to a determination of compliance with the section.

5. A Circulation Plan that indicates roads adjoining the property; the location of access from public roads into the project; and vehicular and pedestrian circulation systems within the project. The Circulation Plan may be included as part of the Master Conceptual Plan.

6. An Improvement Plan that indicates water supply and distribution facilities as well as the source of the water supply; sewage collection and disposal including method and location of sewage discharge; methods and facilities for the management of storm water runoff; improvements to streets and roads; and any other physical improvements required to support the project.

7. A Statistical Summary that indicates the number of acres in the project; the number of acres allocated to each land use within the project; the gross and net residential density within the project and within each land use component of the project; and floor area, floor area ratios, open space ratios, and other data relating the intensity of development to the site size and location.

8. An Environmental Impact Statement indicating possible problem areas within the site as well as solutions to these problems as intended by the developer.

9. To the extent that phases are applicable, phases of development must be shown on the preliminary development plan. If the development will occur in phases, the applicant shall submit a development plan that also displays the entire development at the completion of all phases. The phased development shall have the phases clearly outlined with expected dates for beginning of construction and date of completion of construction. No building permit shall be issued for any phase of development until a final development plan for that phase is approved by the City Council.

10. The following elements are optional at the request of the Planning Commission:

A. A Sign Plan which indicates the location, size and design and other pertinent provisions relating to signs within the project.

B. A Parking Plan which shows the number of parking spaces as well as their general location and design.

C. Any other plan element or technical study that the Planning Commission or the City Council deems necessary to adequately consider and review the Preliminary Development Plan.

11. The Preliminary Development Plan shall be reviewed as a zoning amendment and shall be processed as such.

12. Final Development Plan.

13. Due to diversity in size and character of proposals considered under this section, flexibility in the form, content and approval procedures of the Final Development Plan

should be retained. Toward this end, the City Council shall specify, as part of its approval of the Preliminary Plan, the form, content and approval authority of the Final Development Plan.

14. If the City Council considers a submission of a Final Development Plan necessary for all or part of the District, it shall so specify in its approval of the Preliminary Development Plan. The City Council may retain its authority to approve the Final Development Plan or may delegate its approval authority to the Planning Commission or to a specified official(s). In the event the approval authority is delegated, the City Council shall specify the limits of discretion to be exercised by the approving authority.

15. No building permit shall be issued for all or any portion of a PUD District until the Final Development Plan has been approved.

16. Every Final Development Plan shall provide all the information required of a Preliminary Development Plan and shall further include grading, landscaping, lighting and signage plans.

17. Failure to commence construction after approval a PUD District

18. If substantial construction has not commenced within three years after the date of City Council approval for a PUD development, the Community Development Director shall review the development plan to determine whether the development plan should be voided or remain in effect.

19. If the Community Development Director shall determine that the development plan or any phase thereof is no longer viable, he/she shall present the matter to the Planning Commission for recommendation to the City Council. Simultaneously therewith, the Community Development Director may request the Planning Commission to review the existing zoning classification. The Community Development Director may request that the property be rezoned to that district which immediately preceded the approval of the planned district.

20. The Planning Commission shall hold a public hearing on the issue of voiding the development plan or any phase thereof and on the issue of rezoning the property, if so requested by the Director of Community Development. The recommendation of the Planning Commission shall be referred to the City Council.

21. After a public hearing, the City Council shall have the final determination as to whether the development plan or any phase thereof shall be voided or remain in effect, as well as to whether the property should be rezoned.

22. If the Community Development Director shall determine that the development plan or any phase thereof is viable or necessary to carry out the requirements of this chapter, the Community Development Director shall declare that the development plan or any phase thereof shall remain in effect; provided, however, that the Community Development Director shall report monthly to the Planning Commission detailing the plans to remain in effect.

23. Nothing stated within this section shall be deemed to prohibit an application for an amendment to or a subsequent application for a planned district.

24. Subdivision Plats and Site Plans Required. At the option of the applicant, the preliminary development plan may also serve as the preliminary plat. If the option is exercised, the plan shall include information required of preliminary plats. However, PUD Districts are to be reviewed on their individual merits upon specific application of a developer. Any conflicts with the other provisions of this Zoning and Subdivision Ordinances of the city may be waived by the City Council to carry out the intent of a plan.

(Ord. 1974, passed 8-6-19)

## Section 158.024 – Planned Unit Development Overlays

### (A) Purpose and Intent

The purpose of the Planned Development Overlay District regulations is to encourage high-quality development that provides flexibility in design while maintaining compatibility with surrounding properties and the intent of the underlying zoning district. The PUD is not to be utilized only for the purpose of obtaining a variance to the bulk standards or other City Code requirements.

These regulations are intended to:

1. Promote innovative site design and efficient land use patterns.
2. Encourage redevelopment and infill development.
3. Support mixed-use development where appropriate.
4. Encourage housing diversity and workforce housing opportunities.
5. Promote sustainability and environmental stewardship.
6. Preserve and enhance natural resources and open spaces.
7. Improve transportation connectivity and pedestrian accessibility.
8. Encourage investment that expands the City's tax base.
9. Provide flexibility from conventional zoning standards when a project provides measurable public benefits.
10. Encourage the provision of amenities beyond the minimum requirements of conventional development.

The Planned Development Overlay District shall function as an overlay zoning district. The underlying zoning classification shall remain in effect except where specifically modified through an approved Development Plan.

### (B) Types of Planned Development Overlay Districts

#### (1) Small Planned Unit Development (SPUD)

A SPUD may be established on properties consisting of less than five (5) acres. Limited to two zoning categories/uses.

The SPUD process is intended to provide a simplified review process for smaller redevelopment, infill, mixed-use, commercial, residential, and adaptive reuse projects that provide community benefits and innovative design.

#### (2) Planned Unit Development (PUD)

A PUD may be established on properties consisting of five (5) acres or greater.

The PUD process is intended for larger-scale developments requiring coordinated planning, infrastructure, multiple land uses, housing diversity, open space preservation, or significant public amenities. The proposed PUD, if containing residential uses, will have common open space developed as recreation and/or leisure-oriented improvements reference as referenced by the Community Benefits – Integrated Uses listed in this chapter.

### (C) General Standards

All PUD and SPUD developments shall comply with the following:

1. The underlying zoning district shall remain in effect.
2. The development shall not fundamentally alter the intent of the underlying zoning district.
3. All uses shall be specifically identified within the approved Development Plan.
4. Any use not specifically approved shall be prohibited.

5. Modifications to setbacks, lot dimensions, building height, parking requirements, or other development standards shall be limited to those necessary to accomplish the stated objectives of the development.
6. The development shall demonstrate compatibility with surrounding land uses.
7. The development shall provide measurable public benefits through compliance with the Community Benefit Point System.

(D) Required Development Narrative

All applications shall include a Development Narrative containing:

1. Project description and vision.
2. Existing zoning and land use conditions.
3. Proposed land uses.
4. Requested modifications to zoning standards.
5. Description of community benefits.
6. Explanation of how the project supports adopted plans and policies.
7. Description of sustainability and open space features.
8. Description of economic development benefits.
9. Description of public infrastructure improvements.

(E) Development Standards

The Development Plan shall include a comparison table identifying deviations from the underlying zoning district.

Example:

<b>Standard</b>	<b>Underlying Zoning</b>	<b>Proposed Zoning</b>
Setback	25 Feet	20 Feet
Maximum Height	35 Feet	40 feet
Parking Ratio	1 space per 250 sq ft	1 space per 300 sq ft

(F) Open Space Requirements

SPUD Developments

Minimum five percent (5%) of the site shall be provided as usable open space.

PUD Developments

Minimum fifteen percent (15%) of the site shall be provided as usable open space.

Open space may include but is not limited to:

- Parks
- Plazas
- Trails
- Community gardens
- Natural preservation areas
- Stormwater amenities designed as public features

(G) Community Benefit Point System

The purpose of the Community Benefit Point System is to ensure that developments receiving flexibility from conventional zoning regulations provide measurable benefits to the community.

Minimum Required Points

SPUD Projects: 10 Points

PUD Projects: 20 Points

<b>Categories &amp; Community Benefit</b>	<b>Points</b>
<b>SUSTAINABILITY/RESILIENCE</b>	
Solar-ready building design	2
High-efficiency building systems exceeding code requirements	2
High Efficiency HVAC system (>15.2 SEER rating) or energy efficient Heat Pump (>8.1 HSPF2)	2
Native or drought-resistant landscaping	2
Individual or public storm shelter(s)	3
Cool roof or reflective roof systems	1
<b>TRANSPORTATION</b>	
Sidewalks exceeding minimum 4 foot wide standard	2
Multi-use trail connection	4
Bicycle parking facilities	1
Electric vehicle charging stations	2
Internal pedestrian circulation network	3
Shared parking program	2
<b>PUBLIC SERVICES</b>	
Public plaza or gathering space	4
Public art installation	2
Streetscape improvements beyond code requirements	3
Enhanced stormwater green infrastructure installations, including practices commonly described as nature-based solutions, green stormwater infrastructure, and low-impact development	3
Underground utility installation	3
Public safety improvements incorporated into project (traffic calming, crosswalks, lighting, etc.)	2
<b>HOUSING DIVERSITY</b>	
Workforce housing units	5
Less Flammable material	3
Mixed-income housing component	5
Noise dampening construction or insulation	1
Mixed-Use residential and commercial uses on site	5
<b>NATURAL RESOURCES AND GREEN SPACE</b>	
Open space exceeding minimum requirements	2
Significant tree preservation	3
Rain gardens and planter gardens designed to capture and manage stormwater using soils and vegetation.	3
Improving nearby parks	4
Stream or drainageway restoration	5
Two trees planted for every dwelling unit	1
<b>COMMUNITY BENEFITS- INTERGRATED USES</b>	
Pool	3
Dog Park	3
Basketball Court	4
Pickleball Court	4
Children's playground	4
Gym	3

(H) Application Requirements

SPUD Applications

The following materials shall be submitted:

1. Application form.
2. Permitted uses.
3. Development Narrative.
4. Site Plan.
5. Building Elevations or Conceptual Renderings.
6. Landscape Plan.
7. Community Benefit Point Table.
8. Utility and access information as required by the Community Development Director.

PUD Applications

The following materials shall be submitted:

1. Application form.
2. Development Narrative.
3. Permitted uses
4. Preliminary Development Plan.
5. Site Plan.
6. Open Space Plan.
7. Circulation Plan.
8. Utility Plan.
9. Landscape Plan.
10. Building Elevations or Conceptual Renderings.
11. Community Benefit Point Table.
12. Phasing Plan, if applicable.

All applicable information related to the proposed development shall be fully addressed in the application. Applications containing vague or unanswered responses shall be deemed incomplete and will not be reviewed

(I) Review Procedures

SPUD Review Process

1. Application Submission.
2. Staff Review.
3. Planning Commission Public Hearing and Recommendation.
4. City Council Public Hearing and Final Action.

PUD Review Process

1. Pre-Application Meeting.
2. Application Submission.
3. Preliminary Development Plan Review.
4. Planning Commission Public Hearing and Recommendation.
5. City Council Public Hearing and Approval.
6. Final Development Plan Approval.

#### (J) Approval Criteria

The Planning Commission and City Council shall consider whether the proposed development:

1. Is consistent with the Comprehensive Plan.
2. Is compatible with surrounding development.
3. Enhances community character.
4. Provides adequate public facilities and infrastructure.
5. Provides measurable public benefits.
6. Preserves or enhances natural resources.
7. Promotes housing diversity.
8. Supports economic development and expansion of the tax base.
9. Improves transportation connectivity and pedestrian accessibility.
10. Advances the goals and intent of this Section.

#### (K) Expiration

Approval of a SPUD or PUD shall expire two (2) years following approval unless substantial construction has commenced. Substantial construction shall be defined by completion of at least twenty-five percent (25%) of the total construction development or where 25% or more of the total cost of construction has been expended and for which materials have been delivered on-site. Extensions of up to one (1) year may be granted by the City Council upon demonstration of good cause.

#### (L) Amendments to Approved Planned Development Overlay Districts

##### (1) Purpose

The purpose of this section is to provide a clear and predictable process for modifying approved Planned Unit Development (PUD) and Small Planned Unit Development (SPUD) plans while distinguishing between minor modifications that do not substantially alter the approved development and major modifications that require additional public review.

##### (2) Minor Modifications

Minor Modifications are changes that do not substantially alter the character, intensity, land use composition, community benefit commitments, circulation system, or overall development concept of the approved PUD or SPUD.

Minor Modifications may be approved administratively by the Community Development Director.

Examples of Minor Modifications include:

- (a) Relocation of buildings, structures, parking areas, or internal drives that does not substantially alter the approved site design.
- (b) Modifications to landscaping, screening, fencing, lighting, or streetscape elements.
- (c) Changes to building architecture, exterior materials, colors, or design features.
- (d) Adjustment of lot lines, tracts, easements, or common areas that do not increase development intensity.
- (e) Changes to utility locations or infrastructure design.
- (f) Reconfiguration of parking layouts that does not reduce approved parking below required minimums.
- (g) Modifications to open space design that do not reduce the total approved open space area.

- (h) Adjustments to setbacks, lot dimensions, lot coverage, building placement, or parking ratios that remain within the flexibility limits approved as part of the Development Plan.
- (i) Changes necessary to comply with engineering requirements, utility provider requirements, state regulations, or federal regulations.
- (j) Any other modification determined by the Community Development Director to be substantially consistent with the approved Development Plan.

### (3) Major Modifications

Major Modifications are changes that substantially alter the approved development concept, intensity, land use composition, public benefit commitments, or impacts of the development.

Major Modifications shall require review and approval by the Planning Commission and City Council following the same procedures required for the original approval.

Major Modifications include:

- (a) Addition of a land use not specifically authorized in the approved Development Plan.
- (b) Elimination or substantial modification of an approved community benefit or incentive feature.
- (c) Increase in residential density exceeding ten percent (10%) above the approved density.
- (d) Increase in nonresidential floor area exceeding ten percent (10%) above the approved floor area.
- (e) Increase in building height exceeding ten percent (10%) above the approved maximum height.
- (f) Reduction of required open space.
- (g) Modification of approved access points to public streets that substantially alters traffic circulation.
- (h) Expansion of the boundaries of the approved PUD or SPUD.
- (i) Elimination of approved housing types or mixed-use components.
- (j) Any modification that significantly increases traffic generation, utility demand, stormwater impacts, or other public service impacts.
- (k) Any modification determined by the Community Development Director, Planning Commission, or City Council to substantially alter the character or intent of the approved Development Plan.

### (4) Community Benefit Commitments

Community benefits and incentive points approved as part of a PUD or SPUD shall be considered vested conditions of approval.

Approved community benefits shall not be removed, reduced, or materially altered unless approved through a Major Modification process.

Where a proposed amendment reduces or eliminates an approved community benefit, replacement benefits providing equivalent or greater point values may be approved by the City Council.

### (5) Incentive-Based Flexibility

Development flexibility authorized through the Community Benefit Point System shall be directly tied to the approved point total achieved by the development.

No incentive shall be granted unless the corresponding community benefit points are provided and maintained.

The City Council may authorize one or more of the following development incentives based upon approved point totals:

Incentives available if additional points are calculated

SPUD: 20 Points

PUD: 35 Points

Eligible Incentives:

- (a) Building height increase of up to ten (10) feet.
- (b) Parking reduction of up to twenty percent (20%).
- (c) Lot coverage increase of up to (20%)
- (c) Density increase of up to twenty percent (20%).
- (d) Lot width reduction of up to twenty percent (20%).
- (e) Reduced setbacks or increased building densities, in exchange for additional tree preservation.

(6) Findings

Prior to approving any Major Modification, the Planning Commission and City Council shall find that the proposed amendment:

- (a) Remains consistent with the purpose and intent of the approved PUD or SPUD;
- (b) Continues to provide adequate public benefits proportional to the requested flexibility;
- (c) Remains compatible with surrounding land uses;
- (d) Does not create adverse impacts on public facilities or services; and
- (e) Continues to advance the goals of the Comprehensive Plan and this Chapter.

**A key advantage of a SPUD is its suitability for infill projects and development on smaller or uniquely constrained parcels.** A Simplified Planned Unit Development offers developers and communities a practical approach that encourages creative design solutions while maintaining development standards on smaller lots and placing limitations on number of uses. A SPUD can serve as an effective tool for encouraging redevelopment on properties that are too small to meet the requirements of a traditional development site. Rather than allowing these properties to remain vacant or underutilized, a SPUD provides the flexibility needed to promote quality development.

This is particularly important because a SPUD can provide developers with the flexibility to acquire and redevelop properties in a manner that meets current market demands and community needs. This approach can help revitalize aging sites, reduce the number of vacant structures/lots, and prevent properties from becoming public nuisances. By allowing SPUDs, a city can promote compatible infill development, increase housing opportunities, and strengthen neighborhood vitality while maintaining restrictions and requirements.

For instance, the City of Oklahoma City typically applies the SPUD approach to parcels of five acres or less and limits them to a maximum of two base zoning districts. For example, a five-acre property may be divided into two tracts, with 2.5 acres designated for residential use and the remaining 2.5 acres designated for commercial use. This lower-scale approach limits the property to no more than two base zoning designations. Photos of an Oklahoma City SPUD are provided at the end.

In contrast, a Planned Unit Development (PUD) in Oklahoma City is typically used for larger parcels and allows for a broader range of uses and development standards than conventional base zoning districts. A PUD may include several tracts or use areas. For example, a 100-acre property could include three tracts designated for residential, office, and commercial uses.

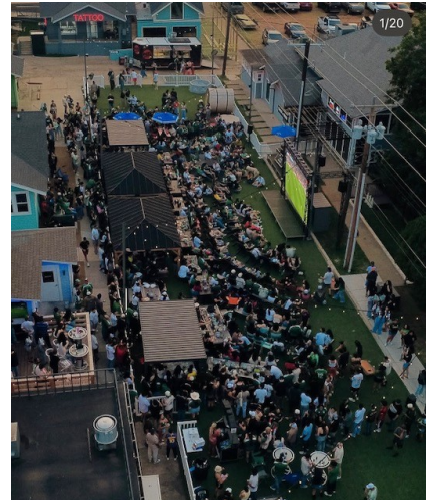
The primary advantage of a SPUD is that it provides developers with a flexible option for creatively redeveloping smaller infill lots that may not be appropriate for a traditional PUD. This allows smaller properties to be redeveloped without the broader scale and complexity of a PUD, while still placing limits on uses and ensuring compatibility with the surrounding area. A SPUD can help return vacant or underutilized properties to productive use. However, creating a SPUD would establish a separate application process, which could increase staff workload. The Commission may also determine that this type of zoning tool is not compatible with Bethany's development goals. As one study notes, "neither a simple fix nor perfect model exists"; communities must decide what type of planned unit development they want and how it should be handled (Mandelker, 2017, p. 234).

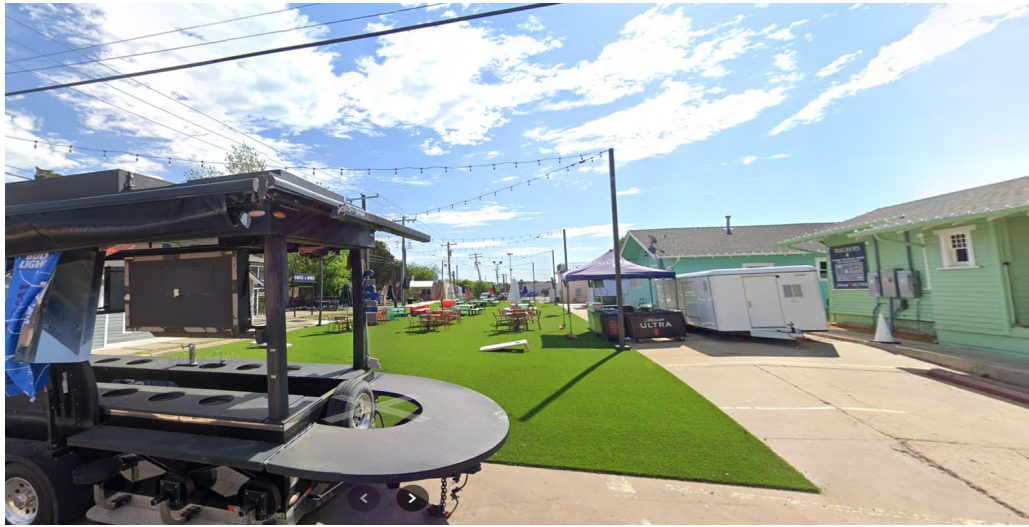
As a final point for discussion, recent PUD applications have included requests related to bulk and yard standards. As a result, this may be an indicator that the city may need to evaluate whether its bulk and yard standards should be updated to reflect residential development needs. Doing so could reduce the misuse of PUDs as a way to work around zoning requirements and allow PUD applications to be reserved for their intended purpose, such as larger-scale or mixed-use development.

### **References**

Mandelker, D. R. (2017). NEW PERSPECTIVES ON PLANNED UNIT DEVELOPMENTS. *Real Property, Trust and Estate Law Journal*, 52(2), 229-289.  
<http://www.jstor.org/stable/44649763>

# OKC SPUD





## § 155.10 LANDSCAPING REQUIREMENTS.

### (A) Purpose.

(1) All new non-residential development and redevelopment areas, shall be landscaped to provide visual buffering, enhance the beautification of the city, safeguard and enhance property values, protect public and private investment, and to protect the public health, safety and general welfare of the citizens of the city. The landscaped area will help reduce soil erosion, and the volume and rate of discharge of stormwater runoff.

(2) All new residential development/ redevelopment of six or more dwelling units and/or three or more acres shall comply with the provisions of this section for landscaping requirements.

(B) *Definitions.* For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**LANDSCAPED AREA.** The area within the boundaries of a given lot which is devoted to and consists of plant material, including but not limited to grass, trees, shrubs, flowers, vines and other ground covers, planters, brick, stone, natural forms, water forms, or aggregate or other inorganic features, but not including the use of smooth concrete or asphalt; provided, however, that the use of the brick, stone, aggregate or other inorganic materials shall not predominate over the use of organic plant material.

**REDEVELOPMENT.** Remodeling, renovation and/ or expansion of improvements on an existing developed property where the usable square footage of the remodeling, renovation and or expansion is increased by 50%, or the costs of the project exceeds 50% of the preredevlopment valuation, or where the project is required to file a site plan under Chapter 155.

**VALUATION OF IMPROVEMENTS PRIOR TO REDEVELOPMENT.** A determination of the fair market value of the property from the most reliable information available which includes County Assessor valuation, recent appraisals, recent sales price and such further information as may be determined by the Community Development Director.

### (C) Requirements for development and redevelopment.

(1) *Development.* New construction of buildings classified with respect to use or occupancy as business, mercantile, assembly, educational, or institutional as provided by the International Building Code shall be landscaped with living plants, trees, bushes, grass or similar vegetation. Nonresidential uses that are either permitted by right or under an enabling permit shall be landscaped.

(2) *Redevelopment.* Redevelopment of buildings classified with respect to use or occupancy as business, mercantile, assembly, educational, or institutional as provided by the International Building Code shall be landscaped with living plants, trees, bushes, grass or similar vegetation. Nonresidential uses that are either permitted by right or under an enabling permit shall be landscaped.

(D) *Required area.* The public right-of-way between the property line and the curb and not less than 5% of the total land area of the lot shall be landscaped. To the extent practical, at least 75% of the landscaped lot area shall be in the front or side yards and visible from public or private streets providing access to the property. Inner courts that are not visible from the public street shall not be calculated for purposes of meeting this requirement. Exception: When the minimum landscape area requirements cannot be met, the required landscaped area may be reduced, upon approval by the City Council.

(E) *Landscaped materials and plan.* An application for a building permit and/or special use permit for nonresidential land usages shall be accompanied by a detailed landscaping plan for both the required lot area and the area within the public street right-of-way between the property line and the curb. A landscape plan shall be required as a part of the site plan review process. The plan shall conform to the following requirements:

(1) The quantity, location and types of all plants:

(a) The maximum height for mature trees shall not exceed 25 feet;

(b) *Street yard.* One tree shall be planted and maintained or preserved for each 1,500 square feet of street yard or fraction thereof;

(c) *Surface parking areas located outside the street yard.* One tree shall be planted and maintained or preserved for each 12 parking spaces; and at least one tree shall be planted and maintained or preserved in each required landscaped area;

(d) Rock gardens or sculpture may be approved; however, the use of gravel or chat as ground cover shall not be considered as meeting the landscape requirements;

(e) The landscape plan shall respect sight triangles at intersections and all other elements relating to traffic control;

(f) Trees and shrubs located in and over utility easements shall be limited to those trees and shrubs which in their mature state will not interfere with overhead and underground utilities; and

(g) The plan shall be reviewed and approved as part of the building permit and special use permit review process.

(2) (a) *Tree requirements.*

(b) *Selection of tree species.* The following list constitutes the species of trees that may be planted under the terms of this chapter. No species other than those included in this list may be planted without the express written permission of the City Arborist.

1. *Small trees:*

- A. Flowering Crabapple; *Malus* spp;
- B. Redbud; *Cercis canadensis*, *Cercis chinensis*;
- C. Purple Leaf Plum; *Prunus cerasifera*;
- D. Hawthorn; *Crateagus* spp;
- E. Flowering Dogwood; *Corpus florida*, *Corpus kousa*;
- F. Buckeye; *Aesculus arguta*, *Aesculus glabra*;
- G. Crapemyrtle; *Lagerstroemia indica*;
- H. Euonymus (deciduous); *Euonymus atropurpureus*;
- I. Holly:
  - (i) American; *Ilex opaca*;
  - (ii) Deciduous; *Ilex deciduas*; and
  - (iii) Yaupon; *Ilex vomitoria*;
- J. Amur Maple; *Acer ginnala*;
- K. Russian Olive; *Elaeagnus angustifolia* L;
- L. Autumn Olive; *Elaeagnus umbellate* Thunberg; and
- M. Smoketree; *Cotinus coggygia*

2. *Medium trees:*

- A. Honeylocust (thornless); *Gleditsia triacanthos*;
- B. Pin Oak; *Quercus palustris*;
- C. River Birch; *Betula nigra*;
- D. Kentucky Coffeetree; *Gymnocladus dioica*;
- E. Red Mulberry (male); *Morus rubra*;
- F. Golden Raintree; *Koelreuteria bipinnata*, *Koelreuteria paniculate*;
- G. Osage Orange (male, thornless); *Maclura pompifera*;
- H. Bald Cypress; *Taxodium distichum*;
- I. Japanese Pagoda Tree; *Sophora japonica*;
- J. Chinese Pistachio; *Pistacia chinensis*;
- K. Ornamental Pear; *Pyrus calleryana*; and
- L. Red Maple; *Acer rubrum*.

3. *Large trees:*

- A. Burr Oak; *Quercus macrocarpa*;
- B. Hackberry; *Celtis occidentalis*;
- C. London Planetree; *Platanus X acerifolia*;
- D. American Sycamore; *Platanus occidentalis*;
- E. Pecan; *Carya illinoensis*;
- F. Red Oak; *Quercus rubra*;
- G. Black Walnut; *Juglans nigra*;
- H. Green Ash; *Fraxinus pennsylvanica*;
- I. Cottonwood (male); *Populus deltoids*;

J. Chinese Lacebark Elm; *Ulmus parvifolia*;

K. Ginkgo; *Ginkgo bilboa*;

L. Fruit trees (fruitless); *Malus spp*;

M. Oaks:

(i) Chesnut; *Quercus prinus*, *Quercus muehlenbergi*;

(ii) Sawtooth; *Quercus acutissima*;

(iii) Shumard; *Quercus shumardi*;

(iv) Water; *Quercus nigra*;

(v) Willow; *Quercus phellos*; and

(vi) Red; *Quercus rubra*, *Quercus falcata*;

N. American Linden; *Tilia americana*;

O. Pine:

(i) Austrian; *Pinus nigra*;

(ii) Loblolly; *Pinus taeda*;

(iii) Ponderosa; *Pinus ponderosa*;

(iv) Slash; *Pinus ellioti*;

(v) Scotch; *Pinus sylvestris*;

(vi) White; *Pinus strobes*; and

(vii) Virginia; *Pinus virginiana*;

P. Cedar:

(i) Atlas; *Cedrus atlantica*; and

(ii) Deodar; *Cedrus deodara*

(3) The following list of trees shall not be planted:

(a) Aspen; *Populus spp*;

(b) Black Locust; *Robinia pseudoacacia*;

(c) Box Elder; *Acer negundo*;

(d) Catalpa; *Catalpa speciose*, *Catalpa bignonioides*;

(e) Chinese Elm (except lacebark); *Ulmus parvifolia*;

(f) Cottonwood (female); *Populus deltoids*;

(g) Fruit trees (except fruitless); *Malus spp*;

(h) Osage Orange (female); *Maclura pomifera*;

(i) Poplar; *Populus alba*, *Populus nigra*;

(j) Silver Maple; *Acer saccharinum*;

(k) Tree of Heaven (*Ailanthus*); *Ailanthus altissima*;

(l) Willow; *Salix spp*;

(m) Eastern Red Cedar; *Juniperus virginiana*.

(4) A certificate of occupancy for a structure shall not be issued until the landscaping has been installed in accordance with the plan; provided, however, that if a structure and all its site improvements are complete except for the landscaping requirements and the season of the year will not permit planting, temporary occupancy may be permitted until a date certain in the growing season. In this case an inspection date in growing season shall be set by the building inspector to determine if the landscaping has been installed;

(5) All landscaping shall be maintained in a live and healthy condition;

(6) Failure to install or maintain landscaping as required and approved shall constitute a violation of this section; and

(7) A landscape plan shall be required as a part of the site plan submitted for all building permits and special use permit

applications. This plan shall show detailed landscape treatment of the area. This landscaping plan must include building footprint, parking, easements, types of plants, typical species of plant, size, location of plants and details of irrigation system, water lines and other utilities, driveways, easements or utilities, irrigation systems or other items as required by the community development director or building inspector.

(F) *Landscape plan content.* All landscape plans shall include the following information:

- (1) North arrow and scale;
- (2) The location of existing property lines and dimensions of the tract, accurately drawn to scale;
- (3) Exact locations and outline of all rights-of-way;
- (4) The location and size of all existing and proposed buildings, and parking areas, including the exact number of parking spaces provided;
- (5) The location and size of any permanent fixture or structure including, but not limited to, sidewalks, walls, fences, trash enclosures, project storage, lighting fixtures, signs and benches, which are relevant to the landscape plan;
- (6) The location, size, and type of all above- ground and underground public utilities with notation, where appropriate, as to any safety hazards to avoid during installation. Alternatively, a letter of no objection provided by the utility company may be provided;
- (7) The location, size, type, species, spacing (on center), and quantity of all proposed plant materials and existing plant materials credited for points shall be graphically represented and referenced on the plan by a common name and/or scientific name, or an appropriate key of all plant species;
- (8) Indicate the method of irrigation on plans and define the area of coverage. If an automatic irrigation system is not proposed, the location of all required hose connections and other watering sources shall be noted; and
- (9) All screening required by this code.

(G) *Maintenance and enforcement.*

(1) When it is determined by the director, or person officially designated, that improvements required by this division are not being maintained, it shall be his/her duty to give notice in writing to the property owner. Such notice shall specify in what manner the improvements are in need of maintenance and a date for compliance. The property owner shall not have less than 30 days to comply with the notice; provided, however, that any person aggrieved by any such order or disagreeing with any of the requirements of the notice may file an appeal within the 30-day period to the Board of Adjustment.

(2) Failure to provide the improvements required by this division or failure to maintain required improvements in the manner prescribed by this section shall constitute an offense and violation of this chapter. Each day such violation occurs shall be a separate offense.

(H) Where it is alleged there is error in any order, requirement, decision or determination made by the administrative official in the enforcement of this section pertaining to landscape requirements, the developer or land owner shall have the right to appeal to the Board of Adjustment for relief.

(Ord. 1912, passed 2-16-16; Am. Ord. 1914, passed 5- 3-16; Am. Ord. 1941, passed 9-5-17; Am. Ord 1974, passed 8-6-19)

**City of Bethany**  
**Planning & Zoning Staff Report**  
**July 2, 2026**

**CASE NO: PC 26-10**

**Request:** Request by Stonetown Capital, Applicant for house moving permits for the purpose of moving five manufactured homes from the Texas State line to the 5200 Blk. N. Peniel Ave. (Lots 14, 29, 35 and a blanket permit).

**Legal Description:** Unpltd. Pt. Sec 9, 12N, 4W, NW4, SW4, SE4.

**Current Zoning:** Manufactured Home Park (MHP)

**Surrounding Zoning:**

<b>Direction</b>	<b>Zoning</b>
North	Warr Acres
South	MHP
East	Warr Acres
West	I-L

*Table 1*

**Background:**

The applicant is requesting approval of the three (3) permits submitted for Building Moving and one blanket permit. Approval is required as per ordinance 150.099 for any building moving application submitted to the Community Development Department.

**Analysis:**

The applicant, Stonetown Capital, has submitted three (3) House Moving Permit applications to the Community Development Department and is seeking approval to move the buildings within the next month. Additionally, the applicant has requested a blanket approval through December 31, 2027, which would allow future building move requests to be processed without appearing before the Planning and Zoning Commission for each individual application.

The applicant will still be required to obtain the necessary House Moving Permits prior to relocating any structure. However, the blanket approval would streamline the process by eliminating the need for repeated Planning and Zoning Commission review for each permit request.

Since purchasing the property, the applicant has removed several severely dilapidated homes and begun rehabilitating the manufactured home park. Work completed to date includes new private concrete roads, new private sanitary sewer lines serving all units, and new private water lines serving all units. The applicant plans to continue installing new roads, pads, and infrastructure as approximately thirty-five (35) new manufactured homes are brought into the community over the next two (2) years.

**Required Action:** Hold a public hearing to either approve or deny the applicant's request for a Building Moving Permit for 5200 N. Peniel Ave.

**Attachments:**

- Zoning Map
- Aerial Photographs
- Application Documents



**FILE #:** 26-001058  
**PERMIT #:** RB26-000161  
**ADDRESS:** 5200 N PENIEL AVE, BETHANY, OK 73008  
**DESCRIPTION:** Beth 14, 29, 35 Moving

Permit Type	Application Date
Residential Building	06/24/2026
Subtype	Approval Date
House Moving	
Work Description	Issue Date
Beth 14, 29, 35 Moving	
Applicant	Expiration Date
Stonetown Bethany - Stephanie Bolfa	
stephanie.bolfa@cairncommunities.com	
Home Address: 5200 N. Peniel Ave #19 , Bethany, Ok 73008	
Mailing Address: 5200 N. Peniel Ave #19 , Bethany, Ok 73008	
Primary Phone: (405) 787-5303	
Status	Close Date
Online Application Received	

**CONTACT INFORMATION**

Applicants relationship to the project  
 Owner  
 Will a contractor be performing this work?  
 Yes

**PROJECT INFORMATION**

Value of Improvement  
 500000  
 Detailed scope of work  
 Blanket moving Permit for Stonetown Bethany. End Date 12/31/2027  
 Foundation Type/Affixed To  
 Other  
 Please Explain  
 Homes will be moved onto lots  
 Will the inspection occur on-site/in City limits?  
 Yes

Proposed Moving Date  
 06/30/2026  
 Will any public service utilities be affected?  
 No

**CONTRACTORS**

Contractor  
 PERMITS - city bethany  
 linda.hlinicky@bethanyok.org  
 Home Address: 6700 NW 36th St , bethany, ok 73008  
 Mailing Address: 6700 NW 36TH ST , BETHANY, OK 73008  
 Primary Phone: (405) 789-6005

**DOCUMENT UPLOADS**

Site Plan  
 BethanyPermitsBlank.pdf  
 Route Plan  
 BethanyRoute2026.pdf

**ACKNOWLEDGEMENT**

I hereby certify that the statements in this application and the attachments hereto are accurate and that the property owner has given permission for this work to proceed. I further certify that all construction work under this permit will conform to all applicable ordinances, rules or regulations of the City of Bethany.

Checked

I understand all applicable contractors must have a valid license prior to permit issuance.

Checked

I understand the moving of a building is prohibited in the City of Bethany between the hours of 7-9 am and 4-6:30 pm

Checked

I understand I must coordinate with the Community Development, Police, and Fire Departments for moving a building into or out the City.

Checked

I understand that my permit with the City of Bethany will not be finalized, and/or a Certificate of Occupancy will not be issued, until all required inspections have been completed and approved and all applicable subcontractor/trade permits (including electrical, plumbing, and mechanical) have been obtained, approved, and finalized.

Checked

SIGNATURE

Signature

#### FEES

Fee	Description	Quantity	Amount	Total
Oklahoma State Fee				\$4.50
House Moving Permit Fee				\$150.00
House Moving Inspection Fee (Inside City Limits)				\$69.00
	<b>Plan Check Fees</b>			\$0.00
	<b>Permit Fees</b>			\$223.50
	<b>Total Fees</b>			\$223.50

#### PAYMENTS

Date	Type	Reference	Note	Receipt #	Received From	Amount
					<b>Amount Paid</b>	\$0.00
					<b>Balance Due</b>	\$223.50



Oklahoma Department Of Transportation

Phone: (405) 425-7012

Manufactured Home

Permit Number: 20260003594742

OS/OW: Y / N Issued: 06/24/2026 Start Date: 06/25/2026 End Date: 06/29/2026 Contact: MICHELLE MALER

User/Mover: TRUCKWORKS INC.
Address: 2702 OLD DALLAS RD
WACO TX 76705
USDOT No: 1975313

Ordered By: TRUCKWORKS INC.
Address: 2702 OLD DALLAS RD
WACO TX 76705

Oversize Vehicle Information

Max Height: 14-6 Max Width: 16-0 Trailer and Load: 0-0 Total Length: 110-0 Forward Overhang: 0-0 Rear Overhang: 0-0

Truck Information

Truck Make: FREIGHTLINER Truck Year: 2016 Tag Number: K224529 Tag State: TX VIN: 3AKJGLBG8GSHJ6858
Truck Fleet Unit: 2760 TRUCKWORKS DEREK

Manufactured Home Information

Manufactured Home Class: NEW Dealer Tag State: OK Owner: STONETOWN BETHANY MHC Manufactured Home
Make: JESSUP Model Year: 2027 Tag Number: K68524 Origin County: Love Destination County: Oklahoma Origin
PLSS: T9S, R1E, sec36 Destination PLSS: T12N, R4W, sec9

Route Information

Statewide Travel: NO Route: NEW ROUTE Going To: N PENIEL AVE, BETHANY, OK [35.524885, -97.626740]
Starting From: I-35 N @ TX State Line [33.726986, -97.159591] Starting State: OKLAHOMA Arrival State:
OKLAHOMA Starting County: 43 Arrival County: 55

Trailer Load Information

Serial: JHW-10491-TX27 Load Description: MANUFACTURED HOME

Permit Restrictions

Commercial Trucks are required to be registered for at least the amount of weight carried or the maximum of 90,000 lbs.

Escorts front and rear required on 2-lane and super 2-lane highways. Rear escort required on all multi-lane highways.

If your route traverses City or County roads, D.O.T. suggests you contact the respective City Street Dept. and/or County Commissioner and reference any possible restrictions or obstacles within their jurisdiction that may impact your ability to travel. Permit holders are allowed a five (5) mile egress from city or county roads displayed on the permit to accommodate local restrictions which may be imposed by local authorities.

Must maintain minimum speed on turnpikes and interstates.

Permitted vehicles and/or loads, the movement of which requires an escort, shall not travel in convoy.

The maximum width on Oklahoma Turnpikes is 13'6".

Travel is discouraged and may be denied during periods of inclement weather such as high winds, decreased visibility, heavy rain, snow, sleet, ice, etc.

When using an Oklahoma Turner and/or Will Rogers turnpike - Wide loads will not be allowed to travel on Fridays from 2:00 pm to 12:00 am (midnight).

When using an Oklahoma turnpike - Wide loads must travel in the right lane unless exiting left.

**Standard Restrictions**

- #1 All overweight & oversized vehicles shall bypass load posted bridges if weight is in excess of the posted limit.
- #2 It is the responsibility of the permit holder/operator to contact all utility companies which may be encountered or impacted during the move.
- #3 All OS/OW loads shall be non-divisible with the exception of SOTPLT permits.
- #4 Oversized loads are not allowed movement one half hour after sun down to one half hour before sun up.
- #5 Oversized loads shall not travel on specific holidays.
- #6 No oversized movement is allowed on the Interstate Highway System between the hours of 7:00 am & 9:00 am or between 3:30 pm & 6:30 pm in Tulsa, Cleveland and Okla. Counties, Mon.- Fr. In addition for Cleveland County: The two (2) mile section of Interstate 35 between State Highway 9 East (Exit 108) and State Highway 9 West (Exit 106) shall be exempt from this restriction.

**Legal Agreement**

I, as the owner, operator and/or authorized agent, certify the information shown on this permit is true and correct. I attest to the fact this vehicle and/or load will be in strict compliance with all state statutes, rules and regulations governing its movement. I understand this permit will be deemed void if any laws or restrictions are violated.

**This permit must be in the drivers possession and the driver has the ultimate responsibility to avoid hazards and unsafe conditions.**

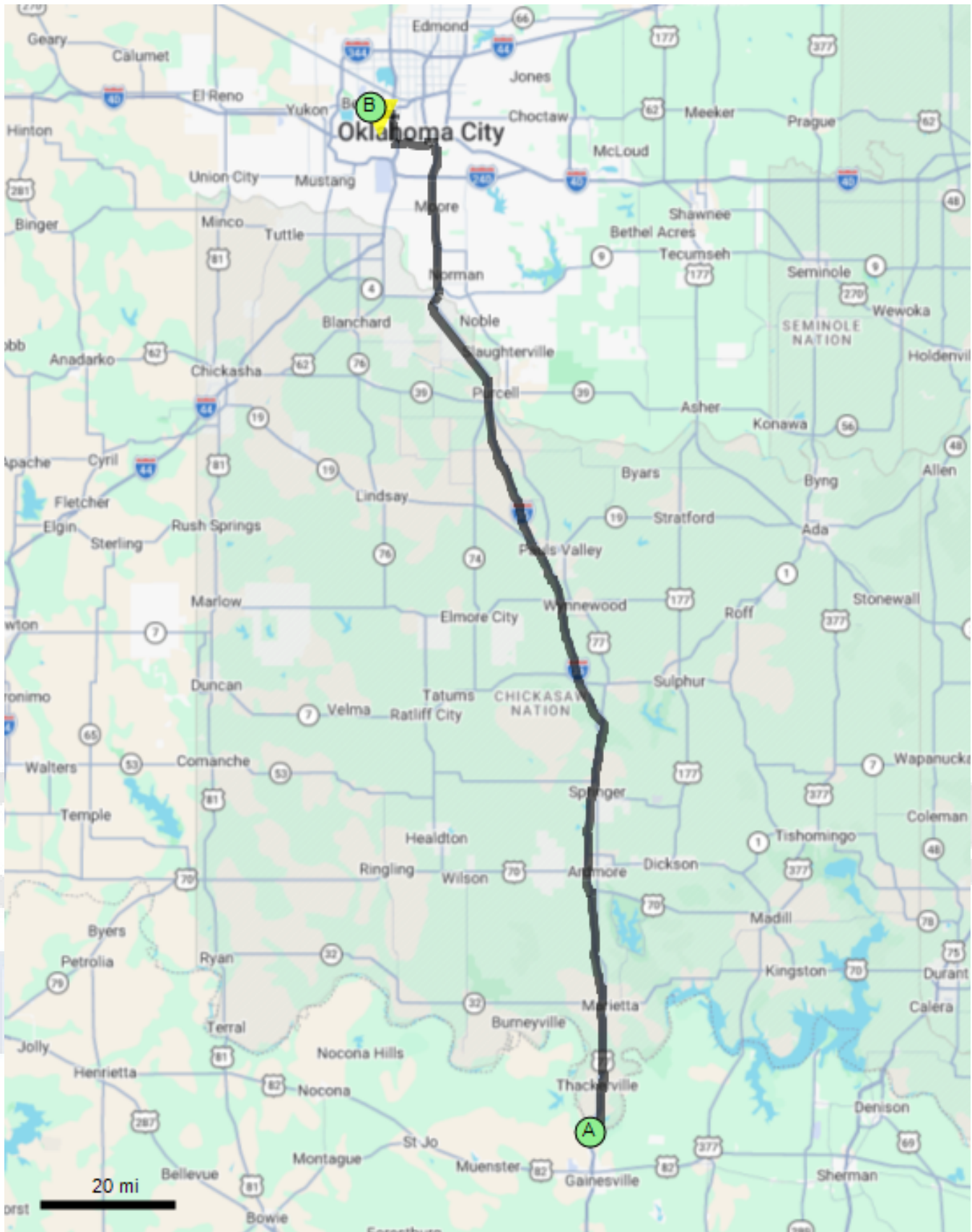
REGULATION OVERSIZE LOAD SIGN REQUIRED FOR ALL OVERSIZE LOADS

**Charges:**

<b>Payment Type:</b>	Bond
<b>Oversize Base Charge:</b>	\$40.00
<b>Overweight Base Charge:</b>	\$0.00
<b>Overweight Charge:</b>	\$0.00
<b>Delivery Fee:</b>	\$2.00
<hr/>	
<b>Total Charges:</b>	\$42.00



**Deputy General Counsel**



**Driving Directions:**

- Miles**      Instruction
- 0.9 mi**      Start on I-35 N (US-77)
- 125.7 mi**    Continue onto I-35 N
- 0.3 mi**      Continue onto I-235 N (US-77)
- 0.1 mi**      Take exit 1B
- 0.6 mi**      Take exit
- 3.9 mi**      Continue onto I-40 W (US-270)
- 0.1 mi**      Take exit 147B
- 0.5 mi**      Take exit
- 2.8 mi**      Continue onto I-44 E (OK-3 W, Will Rogers Expy N)
- 0.4 mi**      Continue onto Lake Hefner Pkwy N (OK-3 W, OK-74 N) NB
- 0.1 mi**      Take exit 123B
- 0.2 mi**      Take exit
- 0.3 mi**      Continue onto OK-66 W (Historic Route 66 W, NW 39th Expy W) WB
- 2.6 mi**      Continue onto OK-66 (NW 39th Expy, NW 39th St) WB

**Restrictions Violated**

<b>Severity</b>	<b>Type</b>	<b>Name</b>	<b>Value</b>
<b>W</b>	<b>VC</b>	LOADS OVER 14' IN HEIGHT ARE NOT RECOMMENDED TO TRAVEL ON SH-66/NW39TH ST AT ANN ARBOR DUE TO LOW HANGING POWER LINES	14-0

- 0.8 mi**      Turn RIGHT onto N Peniel Ave (Contact Local Municipalities)
- 0.1 mi**      Turn LEFT onto NW 50th St (Contact Local Municipalities)
- 0.1 mi**      Turn RIGHT onto N Peniel Ave (Contact Local Municipalities)
- 0.1 mi**      Continue onto N Peniel Ave (Contact Local Municipalities)

Approximate Mileage: **139.3 mi**  
Permit Number: **20260003594742**

